

Development Control A Committee Agenda



Date: Wednesday, 4 April 2018

Time: 6.00 pm

Venue: The Council Chamber - City Hall, College Green, Bristol, BS1 5TR

Distribution:

Councillors: Tom Brook, Stephen Clarke, Mike Davies (Vice-Chair), Margaret Hickman, Steve Jones, Olly Mead, Celia Phipps, Jo Sergeant, Clive Stevens, Chris Windows (Chair) and Mark Wright

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Date: Thursday 22nd March 2018



Agenda

1. Welcome, Introductions and Safety Information

(Pages 5 - 6)

2. Apologies for Absence and Substitutions

3. Declarations of Interest

To note any interests relevant to the consideration of items on the agenda.

Please note that any declarations of interest made at the meeting which are not on the register of interests should be notified to the Monitoring Officer for inclusion.

4. Minutes of the previous meeting

To agree the minutes of the last meeting held on Wednesday 21st February 2018 as a correct record. (Pages 7 - 13)

5. Appeals

To note appeals lodged, imminent public inquiries and appeals awaiting decision. (Pages 14 - 22)

6. Enforcement

To note recent enforcement notices. (Page 23)

7. Public Forum

Up to 30 minutes is allowed for this item.

Any member of the public or Councillor may participate in Public Forum. The detailed arrangements for so doing are set out in the Public Information Sheet at the back of this agenda. Public Forum items should be emailed to democratic.services@bristol.gov.uk and please note that the following deadlines will apply in relation to this meeting:-

Questions - Written questions must be received 3 clear working days prior to the meeting. For this meeting, this means that your question(s) must be received in this office at the latest **by 5pm on Tuesday 27th March 2018.**



Petitions and Statements - Petitions and statements must be received on the working day prior to the meeting. For this meeting this means that your submission must be received in this office at the latest **by 12Noon on Tuesday 3rd April 2018.**

Please note, your time allocated to speak may have to be strictly limited if there are a lot of submissions. This may be as short as one minute.

8. Planning and Development

To consider the following Planning Applications

(Page 24)

- a) **17/06559/FB - Land To Rear Of Silbury Road, Alderman Moores - Erection of 133no. dwellings with associated access, landscaping and services (Major Application)** **(Pages 25 - 52)**
- b) **16/05680/F and 16/05681/LA - (Land To The East Of) Colston Street - Alterations to boundary wall, new access, development of sui-generis residential units for students (2 no. 5-bed cluster flats), with associated refuse and cycle storage** **(Pages 53 - 93)**
- c) **17/07108/F and 17/07109/LA - 6 All Saints Lane, Change of use to create a HMO (Sui Generis) for 8 occupants and associated works** **(Pages 94 - 138)**

9. Date of Next Meeting

The next meeting is scheduled to be held at 2pm on Wednesday 16th May 2018 in the Council Chamber, College Green, Bristol.



Public Information Sheet

Inspection of Papers - Local Government
(Access to Information) Act 1985

You can find papers for all our meetings on our website at www.bristol.gov.uk.

You can also inspect papers at the City Hall Reception, College Green, Bristol, BS1 5TR.

Other formats and languages and assistance
For those with hearing impairment

You can get committee papers in other formats (e.g. large print, audio tape, braille etc) or in community languages by contacting the Democratic Services Officer. Please give as much notice as possible. We cannot guarantee re-formatting or translation of papers before the date of a particular meeting.

Committee rooms are fitted with induction loops to assist people with hearing impairment. If you require any assistance with this please speak to the Democratic Services Officer.

Public Forum

Members of the public may make a written statement ask a question or present a petition to most meetings. Your statement or question will be sent to the Committee and be available in the meeting room one hour before the meeting. Please submit it to democratic.services@bristol.gov.uk or Democratic Services Section, City Hall, College Green, Bristol BS1 5UY. The following requirements apply:

- The statement is received no later than **12.00 noon on the working day before the meeting** and is about a matter which is the responsibility of the committee concerned.
- The question is received no later than **three clear working days before the meeting**.

Any statement submitted should be no longer than one side of A4 paper. If the statement is longer than this, then for reasons of cost, only the first sheet will be copied and made available at the meeting. For copyright reasons, we are unable to reproduce or publish newspaper or magazine articles that may be attached to statements.

By participating in public forum business, we will assume that you have consented to your name and the details of your submission being recorded and circulated to the committee. This information will also be made available at the meeting to which it relates and placed in the official minute book as a public record (available from Democratic Services).

We will try to remove personal information such as contact details. However, because of time constraints we cannot guarantee this, and you may therefore wish to consider if your statement

contains information that you would prefer not to be in the public domain. Public Forum statements will not be posted on the council's website. Other committee papers may be placed on the council's website and information in them may be searchable on the internet.

Process during the meeting:

- Public Forum is normally one of the first items on the agenda, although statements and petitions that relate to specific items on the agenda may be taken just before the item concerned.
- There will be no debate on statements or petitions.
- The Chair will call each submission in turn. When you are invited to speak, please make sure that your presentation focuses on the key issues that you would like Members to consider. This will have the greatest impact.
- Your time allocation may have to be strictly limited if there are a lot of submissions. **This may be as short as one minute.**
- If there are a large number of submissions on one matter a representative may be requested to speak on the groups behalf.
- If you do not attend or speak at the meeting at which your public forum submission is being taken your statement will be noted by Members.

Webcasting/ Recording of meetings

Members of the public attending meetings or taking part in Public forum are advised that all Full Council and Cabinet meetings and some other committee meetings are now filmed for live or subsequent broadcast via the council's [webcasting pages](#). The whole of the meeting is filmed (except where there are confidential or exempt items) and the footage will be available for two years. If you ask a question or make a representation, then you are likely to be filmed and will be deemed to have given your consent to this. If you do not wish to be filmed you need to make yourself known to the webcasting staff. However, the Openness of Local Government Bodies Regulations 2014 now means that persons attending meetings may take photographs, film and audio record the proceedings and report on the meeting (Oral commentary is not permitted during the meeting as it would be disruptive). Members of the public should therefore be aware that they may be filmed by others attending and that is not within the council's control.

Bristol City Council
Minutes of the Development Control A
Committee



21 February 2018 at 10.00 am

Members Present:-

Councillors: Chris Windows (Chair), Mike Davies (Vice-Chair), Donald Alexander, Tom Brook, Stephen Clarke, Richard Eddy, Olly Mead, Celia Phipps, Jo Sergeant, Clive Stevens and Mark Wright

Officers in Attendance:-

Gary Collins, Alex Hawtin, Angelo Calabrese, Jim Cliffe and Jeremy Livitt

1. Welcome, Introductions and Safety Information

The Committee noted arrangements for exiting the building in the event of an emergency.

2. Apologies for Absence and Substitutions

Apologies for absence were received from Councillor Steve Jones (Councillor Richard Eddy substituting) and Councillor Margaret Hickman (Councillor Donald Alexander substituting).

3. Declarations of Interest

Councillor Clive Stevens advised the Committee that he would be making a Public Forum statement and speaking against Agenda Item 8 (b) (Planning Application Number 17/05140/F 67 and 69 Whiteladies Road and 16a and 17a Aberdeen Road) and would, therefore, withdraw from the meeting for the duration of this item.

Councillor Stephen Clarke declared an interest in Agenda Item 8 (c) Planning Application Number a 17/04263/F and 17/04264/LA Former Redland High School, Redland Court Road, Bristol BS6 7EF as a former Governor of Redland High School but explained that this was a long time ago and would not in any way affect his ability to make a decision on this application on its merits.

4. Minutes of the previous meeting

Resolved – that the minutes of the above meeting be approved as a correct record and signed by the Chair.



5. Appeals

Item 31 - O & M Sheds Welsh Back Bristol BS1 4SL

Officers reported that, following the refusal of this application contrary to officers' recommendations, an appeal had been lodged by the applicant which would be considered through written representations and was accompanied by an application for costs.

6. Enforcement

Officers advised the Committee that three enforcement notices had been served since the last meeting.

7. Public Forum

Statements

Members of the Committee received public forum statements in advance of the meeting.

The Statements were heard before the application they related to and were taken fully into consideration by the Committee prior to reaching a decision. (A copy of the public forum statements is held on public record in the Minute Book).

It was noted that Statement 7a had been received within the required timescale and this was, therefore, allowed by the Chair as a Public Forum statement.

8. Planning and Development

The Committee considered the following Planning Applications

9. 17/06021/F 21 Lansdown Road

Officers introduced this report and outlined the following key issues in relation to this application:

- (1) They had considered an appeal Inspector's decision at a similar nearby property at 18 Stanley Road, Cotham in 2013 which, following Development Control Committee's refusal of the application on the grounds of a cumulative increase and increased density, had allowed the decision on appeal. Officers had considered whether or not the proposed change in numbers of an HMSO merited refusal, rather than the principle of an HMSO which was already established
- (2) The application was proposed for approval subject to conditions, including a Premises Management Plan



Officers responded to Councillors' questions as follows:

- (3) Each application needed to be considered on its own merits. However, it was likely that an application for a brand new HMO would have been considered differently. In particular, following the adoption of Policy DM2 in July 2015, there is more formal weight to address intensification of use. Councillors needed to consider whether or not the increase from 5 to 7 occupants crucially tipped the balance to make it unacceptable;
- (4) If the application was approved, the requirement to ensure Premises Management Plan (PMP) was adhered to would form a condition. Therefore, any breach of the PMP would result in an enforcement investigation, albeit that due to recent restructuring this operated on a more reactive rather than a proactive basis
- (5) In the event of any appeal, the Inspector would be likely to consider a wider impact than just to the street
- (6) Councillors' concerns were noted that an increase in occupancy to 7 would likely be for student use. However, there was no difference in terms of the assessment that was made for the application. It could be for other groups, such as professionals
- (7) Officers referred to the appendix of the report and Paragraph 8 setting out the Inspector's decision in respect of Stanley Road. This stated that "Whilst an increase of one resident over and above 6 represents an increase of some 17%, the nature of the occupation has not changed in that the property is occupied by a group of persons on a single tenancy." It was the view of officers that any appeal decision by the Inspector in this case, if it was refused would be made on a similar basis
- (8) Costs would only be awarded against either party in the event that either party was deemed to have acted unreasonably and would cover the costs of the party bringing the appeal

Councillors made the following points:

- (9) Whilst each individual HMO application might have little impact, taken together there had been significant change. BCC had failed local residents in respect of the growth of HMO's in the area
- (10) The previous appeal at Stanley Road had been made prior to the formal adoption of DM2. It was worthwhile attempting to see if this adopted policy could help in controlling the extent of HMOs use in the area
- (11) There was already an impact on residents, especially in relation to noise, waste and in particular parking
- (12) It was reasonable to state that this application would result in intensification since Policy DM2 was only draft at the time of the Stanley Road appeal.
- (13) Developers could not be allowed to undermine balanced and sustainable communities. A tipping point had been reached in terms of intensification and impact on residents in terms of loss of amenity, noise and disturbance



- (14) In view of the increase in occupancy from 5 to 7 (a 40% increase) and the information from neighbours that the situation had deteriorated, there was real evidence that there was extra disturbance
- (15) The Inspector for the Stanley Road appeal had not given policy DM2 significant weight because it was not adopted policy at the time
- (16) It was disappointing that this was a retrospective application since this undermined the decision-making process
- (17) There was a serious concern as to whether the Premises Management Plan was genuinely enforceable. This issue would need to be drawn to the inspector's attention in the event that the Inspector was inclined to allow any appeal

It was moved by Councillor Clive Stevens, seconded by Councillor Olly Mead and, upon being put to the vote, it was

RESOLVED (unanimously) – that the application be refused under Policy DM2 on the basis that it is an intensification of the existing development and will increase the noise and disturbance to residents and cause loss of amenity.

10 17/05140/F 67 and 69 Whiteladies Road and 16a and 17a Aberdeen Road

Councillor Clive Stevens withdrew from the meeting for the duration of this item since he would be making a Public Forum statement opposing this application.

Officers introduced the report and made the following comments:

- (1) Details of the site location were provided
- (2) The site had lawful B2 use and officers raised concerns that a continued industrial use of the site would not add to the vitality of the Town Centre
- (3) While the site is in the Whiteladies Road Town Centre, for the purposes of the sequential test (applying policy DM7) the site was assessed as being out of centre and had passed the sequential test and the Council's Retail experts considered the proposal would not have a significant impact on the primary shopping area
- (4) Conditions were proposed to address concerns relating to pollution control and refuse storage
- (5) There were no objections from highways officers – in addition, it was proposed to remove vehicular access points along Aberdeen Road which would improve pedestrian safety
- (6) Officers were therefore proposing that the application was approved subject to conditions.

In response to Councillors' questions, officers made the following points:

- (7) Conditions required the existing drop kerb at the site to be re-instated
- (8) In the event of the approval of a change of use, the applicant would have three years to implement the planning permission. The permission would not mean that the existing occupiers (Kwik Fit) would have to immediately move out



- (9) In terms of the consideration of the job proposition - Policy DM12 seeks to safeguard employment floor space under B1-B8 use Class. Retail jobs are not covered by this policy.

Councillors made the following points:

- (10) The application failed Policy DM12 and did not meet the sequential test since there were no other sites available for these kinds of units. The change of use would not add to the diversification of Whiteladies Road and would result in car owners having to travel further to get their car repaired. There was no good reason to approve it
- (11) The existing employment type was higher quality and adds to the vitality and sustainability of the centre. Future use could well be retail which was already at high saturation levels
- (12) Whilst removal of vehicle access was welcomed, the number of proposed cycle stands was not enough and waste storage arrangements were not satisfactory or hygienic
- (13) The proposed change of use had the potential to further reduce the number of skilled working class jobs in the area and replace them with unskilled jobs
- (14) The application should be refused on the grounds of Policy DM12 and the impact on employment sites and commercial floor space
- (15) The proposed application was not sustainable and should be refused under Policy DM12
- (16) The application seemed speculative and would be difficult to refuse but could be conditioned as indicated by Councillor Stevens in his Public Forum statement to limit use, refuse and noise
- (17) The application could also be refused on the grounds of Policy DM7 since it failed the sequential test. Officers indicated that refusal on this ground would be weak.

Councillor Olly Mead moved, seconded by Councillor Tom Brook and, upon being put to the vote, it was

RESOLVED – that (8 for, 0 against, 2 abstentions – Councillor Clive Stevens declared an interest and did not participate or vote) – that the application is refused under Policy DM12 on the grounds that the property should be retained for existing employment use.

11 17/04263/F and 17/04264/LA Former Redland High School, Redland Court Road, Bristol BS6 7EF

Officers introduced this report and made the following points:

- (1) These applications had originally been considered at 19th January 2018 Development Control (A) Committee which had considered the Heritage Impact aspects of the case. Members were reminded that the report and members' comments had been referred to the Secretary of State for Communities and Local Government. In addition, if the Secretary of State made no comment within the 21 day period from receipt of notification, then planning permission would be granted subject to conditions.



- (2) The Committee's decision to request a greater contribution to affordable housing to approve the application, officers had discussed this issue with the applicants who had indicated their willingness to increase the number of shared affordable housing units to 5. However, they had requested that the contribution be set at £500,000 rather than £750,000
- (3) No officer recommendation was proposed. The Committee's view on this proposal from the developer was requested

In response to members' questions, officers made the following points:

- (4) One of the proposed two new flats would be below the minimum space standards. Some Councillors expressed concern about this. However, officers pointed out that national space standards do permit smaller one bed units. It was also explained that this was not because the applicant choosing to build smaller units but this was a conversion of an existing building and was due to the need for increased numbers of units following the need for on-site provision
- (5) The remodelled viability assessments had been made on the basis of existing cash flows
- (6) Councillors' concerns were noted about the need to ensure developers paid a sensible price for sites to enable a reasonable proportion of affordable housing to be provided. However, Councillors always retained the option to refuse developments if they believed insufficient affordable housing was being provided and this could be substantiated by evidence. Officers stated that they believed developers were increasingly understanding the requirements for such housing in developments in Bristol
- (7) The Secretary of State would have 21 days to decide whether or not to call in the application in relation to the Heritage aspect

Councillor Mike Davies moved, seconded by Councillor Richard eddy and, upon being put to the vote, it was

RESOLVED (10 for, 0 against, 1 abstention)

- (1) that the applications together with responses to the publicity and consultations, the Committee report and members' comments be referred to the Secretary of State for Housing, Communities and Local Government. If the Secretary of State makes no comment within the 21 day period from receipt of notification, then planning permission and Listed Building Consent be granted subject to conditions (including a 1 year consent condition).**
- (2) following submission and consideration of the applicants revised offer-That planning permission be granted subject to conditions and a Section 106 agreement relating to TRO's, 5 shared ownership affordable housing units on site and an off- site affordable housing contribution of £500,000.**



12 Items Referred to the Secretary of State

Officers stated that the application relating to the Colston Hall conversions had been referred to the Secretary of State and following consideration, Bristol City Council had been advised that it could issue planning permission.

13 Date of Next Meeting

The Committee noted that the next meeting was scheduled to be held at 6pm on Wednesday 4th April 2018.

Meeting ended at 12.10 pm

CHAIR _____



DEVELOPMENT CONTROL COMMITTEE A

4 April 2018

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF CURRENT APPEALS

Householder appeal

Item	Ward	Address, description and appeal type	Date lodged
1	Westbury-on-Trym & Henleaze	8 Newcombe Road Bristol BS9 3QS Erection of a double storey, side and a single storey, rear extension after part demolition of the garage. Appeal against refusal Delegated decision	16/01/2018
2	Henbury & Brentry	161 Knole Lane Bristol BS10 6JP Two storey side extension and part single storey side and rear extension. Appeal against refusal Delegated decision	13/02/2018
3	Eastville	208A Rose Green Road Bristol BS5 7UP Erection of rear and side extension. Appeal against refusal Delegated decision	27/02/2018
4	Easton	76 Robertson Road Bristol BS5 6JT Retrospective application for the retention of a building. Appeal against refusal Delegated decision	06/03/2018

Public inquiry

Item	Ward	Address, description and appeal type	Date of inquiry
5	Central	<p>Old Bristol Royal Infirmary Building Marlborough Street (South Side) City Centre Bristol BS1 3NU</p> <p>Demolition of the existing buildings and redevelopment of the site to provide a part 7, 8 and 9 storey building fronting Marlborough Street, comprising 715 student bedspaces; communal areas and central courtyard; and erection of part 4, 5 and 6 storey building to the rear to accommodate a mix of uses, including office floorspace (Use Class B1) and/or medical school (Use Class D1) equating to 6,860sqm and a small commercial unit; associated access road, landscaping, public realm improvements, undercroft car parking and cycle parking. (MAJOR).</p> <p>Appeal against non-determination</p> <p>Committee</p>	TBA

Written representation

Item	Ward	Address, description and appeal type	Date lodged
6	Bishopston & Ashley Down	<p>29 Church Road Horfield Bristol BS7 8SA</p> <p>Erection of a single storey, rear extension and a rear roof extension.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	26/10/2017
7	Frome Vale	<p>1 Eaton Close Fishponds Bristol BS16 3XL</p> <p>Enforcement notice appeal for the change of use of the property and its occupation as an 8 bedroom House in Multiple Occupation.</p> <p>Appeal against an enforcement notice</p>	04/12/2017
8	St George West	<p>270 Church Road St George Bristol BS5 8AH</p> <p>The addition of a new two-storey unit to provide new dwelling, with minor extensions and alterations to the existing unit.</p> <p>Appeal against refusal</p> <p>Committee</p>	22/01/2018
9	Frome Vale	<p>19 Lambrook Road Bristol BS16 2HA</p> <p>Erection of two, two storey dwellings.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	22/01/2018

10	St George Central	Lane Leading To Former Wesleyan Methodist Chapel Bristol Residential development comprising of two dwelling houses with vehicle access through the approved former Wesleyan Chapel car park, together with associated landscaping. Appeal against refusal Delegated decision	22/01/2018
11	St George Central	Lane Leading To Former Wesleyan Methodist Chapel Bristol Residential development comprising of two dwelling houses with vehicle access through the approved former Wesleyan Chapel car park, together with associated landscaping Appeal against refusal Delegated decision	22/01/2018
12	Lawrence Hill	Kingsland House Kingsland Close Bristol BS2 0RJ Proposed change of use of existing industrial building from storage (B8 use class) to a day nursery and education/training facility within D1 use class. Appeal against refusal Delegated decision	23/01/2018
13	Central	O & M Sheds Welsh Back Bristol BS1 4SL Proposed retention and repair of the two historic buildings O & M sheds, including reconstruction of the northern gable wall of O Shed, provision of new roofs, and associated surrounding landscaping for the purpose of providing three restaurants (within A3 use class) and outdoor seating area to Welsh Back. Appeal against refusal Committee	23/01/2018
14	Avonmouth & Lawrence Weston	1 - 3 High Street Shirehampton Bristol BS11 0DT First and second floor extensions to provide 6 flats. Appeal against refusal Delegated decision	07/02/2018
15	St George West	387 Church Road St George Bristol BS5 8AL New build 2 bed house to the rear of the site at 387 Church Road. Appeal against refusal Delegated decision	08/02/2018
16	Cotham	Kirwin House (& Lansdowne House) Cotham Park North Bristol BS6 6BH Erection of 4no. single storey wheelchair accessible houses on land to the rear of Kirwin & Lansdowne houses. Appeal against refusal Delegated decision	08/02/2018

17	Southmead	471 Southmead Road Bristol BS10 5LZ Retention of an ATM installed through existing glazing to the right hand side of the shop entrance. Appeal against refusal Delegated decision	08/02/2018
18	Southmead	7 Lorton Road Bristol BS10 6DG Erection of two storey dwelling house and associated works. Appeal against refusal Delegated decision	08/02/2018
19	Ashley	14 Mina Road Bristol BS2 9TB Erection of an internally illuminated, digital 48-sheet advertisement measuring 6m by 3m. Appeal against refusal Delegated decision	13/02/2018
20	Hengrove & Whitchurch Park	2 Gilda Parade Bristol BS14 9HY Replacement of an existing illuminated 48-sheet advertising display with a 48-sheet digital LED display. Appeal against refusal Delegated decision	13/02/2018
21	Central	Unit 1 Maggs House 70 Queens Road Clifton Bristol BS8 1QU Proposed change of use from mixed A1/A3 to mixed A3/A4 use, facade alterations to ground floor. Appeal against refusal Committee	15/02/2018
22	Filwood	69 Hartcliffe Road Bristol BS4 1HD Proposed two storey detached single dwelling house, with associated parking. Appeal against refusal Delegated decision	15/02/2018
23	Knowle	75 Tavistock Road Bristol BS4 1DL Proposed two bedroom detached single dwelling house, with provision of car parking. Appeal against refusal Delegated decision	15/02/2018
24	Hengrove & Whitchurch Park	Land Adjoining 130 Hengrove Lane Bristol BS14 9DQ Erection of 3 storey building comprising 6 x 1-bed flats. Appeal against refusal Delegated decision	15/02/2018

25	Clifton	Flat 2, 20 Clifton Down Road Bristol BS8 4AG Alteration to external opening on rear elevation. Change a window to a door opening and provide external steps down to garden. Appeal against refusal Delegated decision	23/02/2018
26	Ashley	87 Ashley Road Bristol BS6 5NR Two storey side extension, loft conversion with partial demolitions and alterations to existing Annexe Appeal against refusal Delegated decision	23/02/2018
27	Ashley	87 Ashley Road Bristol BS6 5NR Two storey side extension, loft conversion with partial demolitions and alterations to existing Annexe. Appeal against refusal Delegated decision	23/02/2018
28	Easton	76 Robertson Road Bristol BS5 6JT Enforcement notice appeal for the erection of building for habitation rather than as a garage which is larger than the building approved in 2003. Appeal against an enforcement notice	06/03/2018

List of appeal decisions

Item	Ward	Address, description and appeal type	Decision and date decided
29	Hartcliffe & Withywood	85 Fair Furlong Bristol BS13 9HY Proposed new dwelling on the land at the rear of 85 Fair Furlong Appeal against refusal Delegated decision	Appeal dismissed 06/03/2018
30	St George West	9 Ebenezer Street Bristol BS5 8EF Application to approve details in relation to conditions 2 (Windows details), 3 (Construction Management Plan), 4 (Solar Panels), 5(Further details) and 6 (Premises Management Plan) of permission 16/06074/F Conversion of existing film studio to provide 3 No cluster flats and 1 No single flat. Appeal against refusal Delegated decision	Split decision 12/02/2018 Split cost decision

31	St George West	<p>9 Ebenezer Street Bristol BS5 8EF</p> <p>Variation of conditions 6 (premises management) and 12 (on-site supervision) attached to planning permission 16/06074/F (for the conversion of existing film studio to provide 3 No cluster flats and 1 No single flat).</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>12/02/2018</p> <p>Costs awarded</p>
32	Avonmouth & Lawrence Weston	<p>448 Portway Bristol BS11 9UA</p> <p>Application for retention of 1.65m high, featherboard fencing around the front boundary wall of the property (approximately 22m in length) with an additional 3.5m of fencing to run up to meet the existing fencing for the side garden.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>28/02/2018</p>
33	Avonmouth & Lawrence Weston	<p>448 Portway Bristol BS11 9UA</p> <p>Enforcement notice appeal for the erection of fencing in excess of 1 metre high around the boundary of the property facing the highways of Hung Road and the Portway.</p> <p>Appeal against an enforcement notice</p>	<p>Appeal dismissed</p> <p>28/02/2018</p>
34	Ashley	<p>10 Williamson Road Bristol BS7 9BH</p> <p>Enforcement notice appeal for excavation and engineering works at the front of the property to form an off street parking area.</p> <p>Appeal against an enforcement notice</p>	<p>Appeal allowed</p> <p>06/03/2018</p>
35	Clifton Down	<p>Avon Court Beaufort Road Clifton Bristol BS8 2JT</p> <p>Proposed replacement of external windows and doors with UPVc replacement windows with wood effect and UPVc doors to residential apartments and aluminium door to communal areas.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>19/02/2018</p>
36	Westbury-on-Trym & Henleaze	<p>Red Maids School Westbury Road Bristol BS9 3AW</p> <p>Erection of modular classroom building to provide music and art space, shared between Senior and Junior School, together with external works to provide footpath links.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>22/02/2018</p>

37	Bishopsworth	<p>Site To Rear Of United Reformed Church Church Road Bishopsworth Bristol</p> <p>Proposed construction of 6 no, 3 bedroom town houses each with an integral garage and parking place with associated external works and bin stores with removal of existing modern red brick wall building and vehicular access via fernsteed road.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>21/02/2018</p>
38	Redland	<p>13 Purton Road Bristol BS7 8DB</p> <p>Excavation and construction of structure to create a Car Port accessed from Elton Lane.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>22/03/2018</p>
39	Southmead	<p>Southmead Convenience Store 327 Southmead Road Bristol BS10 5LW</p> <p>Retention of an ATM installed through the shop front, two user protection bollards and alteration to existing security shutter to allow access to the ATM.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>22/03/2018</p>
40	Southmead	<p>Southmead Convenience Store 327 Southmead Road Bristol BS10 5LW</p> <p>Illuminated polycarbonate black and green surround signage with illuminated white lettering "cash withdrawals and free balance enquiries" and "cash zone" Halo illumination to polycarbonate surround. Illuminated signage to ATM fascia. Green acrylic sign with white lettering "cashzone" and accepted card logos.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>22/03/2018</p>
41	Central	<p>Outside 5-7 Bridewell Street Bristol</p> <p>Application for prior notification of proposed development by telecommunications code system operators - Telephone Kiosk - replacement of existing kiosk with new design.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>22/03/2018</p>
42	Hillfields	<p>1A Fitzroy Road Bristol BS16 3LZ</p> <p>Single storey extension to rear of ground floor flat.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>22/03/2018</p>

43	Avonmouth & Lawrence Weston	163 Long Cross Bristol BS11 0LZ Demolition of existing outbuildings (garage and store) and erection of 1 no. dwelling. Appeal against refusal Delegated decision	Appeal dismissed 15/03/2018
44	Eastville	60 Thingwall Park Bristol BS16 2AE Demolition of existing garage, conservatory and flat roof extension to side elevation. Conversion of existing dwelling into 5 x 1-bedroom flats. Erection of dormer window to side elevation and insertion of roof light to front elevation. Appeal against refusal Delegated decision	Appeal allowed 19/03/2018
45	Clifton Down	First Floor Flat 35 Upper Belgrave Road Bristol BS8 2XN Proposed balcony fitted to the rear of the property. Appeal against refusal Delegated decision	Appeal allowed 27/02/2018
46	Hengrove & Whitchurch Park	53 Loxton Square Bristol BS14 9SE Proposed two storey side extension and conversion into new 2no. bed dwelling house. Appeal against refusal Delegated decision	Appeal dismissed 27/02/2018
47	Frome Vale	12 Reedling Close Bristol BS16 1UG Two storey, side extension. Appeal against refusal Delegated decision	Appeal dismissed 15/02/2018
48	Frome Vale	49 Manor Road Fishponds Bristol BS16 2HX Second storey side & rear extensions over existing single storey. Appeal against refusal Delegated decision	Appeal dismissed 09/03/2018
49	Lawrence Hill	6 Claremont Street Bristol BS5 0UH Replacement of an existing 48-sheet backlit advertising display with a digital LED advertising display. Appeal against refusal Delegated decision	Appeal allowed 15/03/2018

50 Southville	<p>Regent House Lombard Street Bristol BS3 1AL</p> <p>Application to approve details pursuant to conditions 2(Highway Work), 3 (Environmental management Plan), 4(Road Condition Survey), 5(Car Club/Electric Vehicle), 6 (Unexploded Ordnance), 7 (Traffic Management Plan), 8 (Remediation Scheme), 10(Archaeological Works), 11 (Recording Fabric), 12 (Bird and Bat), 13 (Vegetation Clearance), 17 (Energy Strategy) and 25 (Travel Plan) of permission 15/04731/F (for change of use of Regent House and Consort House from offices (use class B1(a)) to residential (use class C3) (80 units) along with external alterations and retained offices (use class B1(a)) accommodation of 481sq m. Extension of commercial unit in Consort House (use classes A1, A2, A3, D1) of 36sq.m. Construction of new residential blocks (use class C3) (151 units) and associated landscaping and car parking to the rear of Regent House and Consort House. Construction of new residential accommodation (use class C3) (4 units) and ground floor commercial units (use classes A1, A2, A3, D1) of 395.sq.m on land at Lombard Street. Alterations to public realm along Bedminster Parade and Lombard Street). Major Application</p> <p>Appeal against refusal</p>	<p>Appeal withdrawn 06/03/2018</p>
51 Ashley	<p>18 St Nicholas Road Bristol BS2 9JZ</p> <p>Notification of prior approval for the erection of a single storey, rear extension that would extend beyond the rear wall of the original house by 5.9 metres, have a maximum height of 3.0 metres and have eaves that are 3.0 metres high (maximum).</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal withdrawn 26/02/2018</p>

DEVELOPMENT CONTROL COMMITTEE A

4 April 2018

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF ENFORCEMENT NOTICES SERVED

Item	Ward	Address, description and enforcement type	Date issued
1	Bishopston & Ashley D	318 Gloucester Road Horfield Bristol BS7 8TJ Extension at rear of property. Enforcement notice	22/02/2018
2	Stoke Bishop	33 St Edyths Road Bristol BS9 2EP Use of detached building as a self-contained unit of residential accommodation and its use for commercial letting. Breach of conditions notice	28/02/2018
3	Windmill Hill	154 Marksbury Road Bristol BS3 5LD Development being the erection of a detached ancillary building being larger than approved by planning permission 16/04845/H. Enforcement notice	06/03/2018

Development Control Committee A 4 April 2018

Report of the Service Director - Planning

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Planning Applications

Item	Ward	Officer Recommendation	Application No/Address/Description
1	Bedminster	Grant	17/06559/FB - Land To Rear Of Silbury Road Alderman Moores Bristol Erection of 133no. dwellings with associated access, landscaping and services (Major Application).
2	Central	Grant subject to Legal Agreement And Grant	16/05680/F and 16/05681/LA - (Land East Of) Colston Street Bristol BS1 5AY Alterations to boundary wall, new access, development of sui-generis residential units for students (2no. 5-bed cluster flats), with associated refuse and cycle storage.
3	Central	Grant	17/07108/F and 17/07109/LA - 6 All Saints Lane Bristol BS1 1JH Change of use to create a HMO (Sui Generis) for 8 occupants and associated works.

Development Control Committee A – 4 April 2018

ITEM NO. 1

WARD: Bedminster **CONTACT OFFICER:** Jess Leigh
SITE ADDRESS: Land To Rear Of Silbury Road Alderman Moores Bristol

APPLICATION NO: 17/06559/FB Full Planning (Regulation 3)

DETERMINATION DEADLINE: 1 March 2018

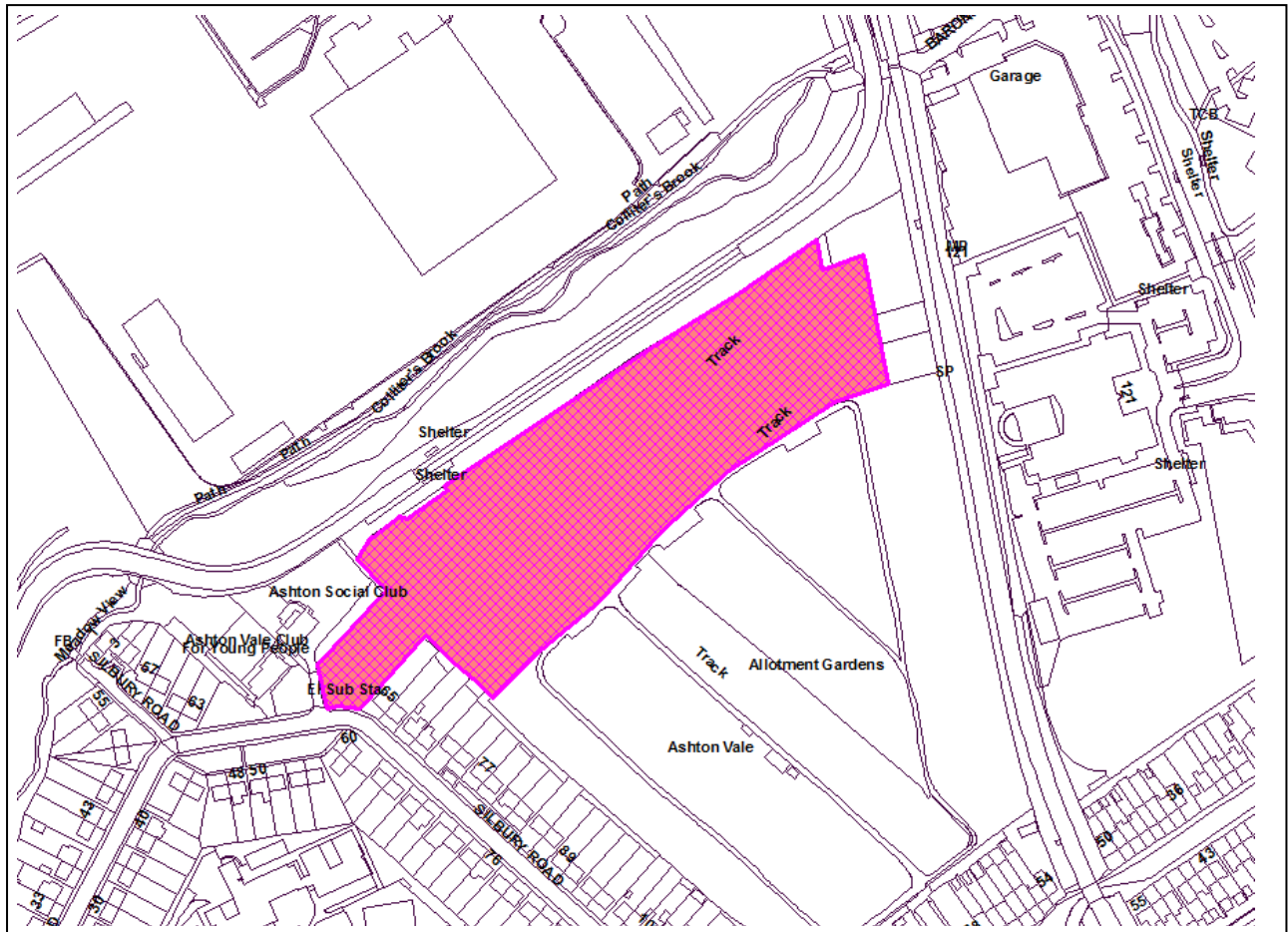
Erection of 133no. dwellings with associated access, landscaping and services (Major Application).

RECOMMENDATION: Grant subject to Condition(s)

<p>AGENT: Willmott Partnership Homes Limited 2 Bromwich Court Gorsey Lane Coleshill Birmingham B46 1JU</p>	<p>APPLICANT: Bristol City Housing Delivery Bristol City Council Amelia Court Bristol BS1 5AA</p>
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The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 4 April 2018**Application No. 17/06559/FB: Land To Rear Of Silbury Road Alderman Moores Bristol****SITE DESCRIPTION AND BACKGROUND**

The land in question is former allotments, which have been declared surplus, it is owned by the city council and under the control of the Housing Revenue Account.

The land slopes down from the south to the north and is populated by a number of trees with undergrowth that was dominated by brambles but is now largely cleared.

Access is via an unsurfaced lane alongside a children's home on Silbury Road.

To the south of the site is a well-used area of allotments, there is a wire mesh fence along the intervening boundary and a number of trees. To the north of the site is the recently completed Metro bus route and a bus stop though this is not yet in use.

There is a new pumping station in the north east corner.

An area to the east of the site has been left out of the application should it be required for storage in connection with a new railway station that is being considered through the Metro West project which is considered the opening up of the Portishead railway line.

The children's home and other houses in the vicinity are of typical nineteen fifties design, of traditional proportions with gable ended, dual pitch roofs and simple in appearance.

The site was included in a hybrid planning permission in 2009 - ref.09/02242/P- which included full consent for a new sports stadium on land further to the west and outline consent for residential development on land adjacent to the stadium and also the site in question. This was not implemented.

The site is allocated for housing development in the Sites Allocation and Development Management Local Plan with an estimated number of homes of 137.

Development Considerations are given as follows;

Development should;

Make provision for public open space on the site

Improve the accessibility of the site to land to the west

Be informed by a site-specific flood risk assessment as the site is subject to flood risk

Maintain or strengthen the integrity and connectivity of the Wildlife Network

Be informed by an ecological survey of the site and, where appropriate, make provision for mitigation measures. Part of the site currently has city wide importance for nature conservation due to the presence and condition of particular species, habitats and/or features

Ensure an 8 meter wide wildlife corridor is provided between Colliter's Brook and Housing

Be informed by an investigation of land stability, including proposed remediation measures, as the site falls within an area associated with former coal mining

Address noise and pollution issues from nearby industrial uses

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Take account of the safeguarded transit route which passes through the site (the allocation proceeds the construction of the metro bus route)

Be informed by a Health Impact Assessment. This should include how the proposals have been discussed with local primary health care providers regarding impact on primary health care.

The site lies within a designate Wildlife Corridor and in the vicinity of the proposed access is an area of High Coal Mining Risk, it is within the Zone of Influence of the SSSI at Ashton Court.

PROPOSAL

A development of 133 dwellings is proposed comprising 83 flats and 50 houses.

The development of the site will be undertaken by private developers working with the city council in a cross subsidy arrangement which will provide 80 units for sale on the open market and 53 new council properties, i.e. 40%. The market sale homes will be sold with the proceeds being invested in the construction of the council homes.

The feasibility work that has been undertaken has been funded by monies from Housing revenue and capital funding as well as Right to Buy receipts.

Vehicular access to the site is to be created by the demolition of the children's home on Silbury Road, within the site the access road will divide to create an elliptical route around the eastern half of the site. An ecology buffer is proposed along the southern and eastern boundary and to a lesser extent northern and western boundary, an area of communal open space is proposed within the site containing some of the retained trees.

There is a plaza linking the proposed road to the bus stop serving the Metrobus route and an adjacent wetland area, which will form part of the sustainable drainage system for the site.

The flats are in five blocks, all of which are four storeys in height with a mix of flat and pitched roofs all the houses are two storey with dual pitched roofs. The development is largely brick faced with a mix of render and stone facing on the house which is proposed closest to the entrance point.

A mix of cut-and fill will take place across the site to accommodate the gradient.

A number of documents have been submitted with the application to include; Air Quality Assessment, Ecological Appraisal, Community Involvement Statement, Noise Assessment, Health Impact Assessment, Arboricultural Impact Assessment, Energy Report, Sustainability Statement, Archaeological Desk based assessment and Coal Mining Risk Assessment.

PRE SUBMISSION COMMUNITY INVOLVEMENT

Two community information meetings were held in July and August 2017. They were held at Ashton Park School and 946 households were invited, 78 people attended the first event and 40 the second.

Issues raised included concern regarding the adequacy of the access and ability of roads in the area to accommodate the construction traffic, the need to provide pedestrian and cycling measures, sufficient parking, lack of local facilities to serve new residents.

Response - the second event included 'you said we did' information to show where the design took on board comments received where possible. Similar comments were received as previously.

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The Bristol Urban Design Forum considered the proposal at their meeting of the 31st October 2017 and their response acknowledged the constraints of the site but raised issues with the design of the roads and that the movement of vehicles should be subservient to the needs of other users.

Comments were made on the need to develop house typologies which addressed particular street scape conditions. Other suggestions included the provision of a tree lined square at the entrance to the site, left over areas should also be removed. The amount of car parking was queried.

RESPONSE TO PUBLICITY AND CONSULTATION ON THE PLANNING APPLICATION

One hundred and ninety letters of consultation were issued with a closing date for comment of the 2nd January 2018. The application was advertised on site and in the press with a final closing date for comment of the 17th January 2018.

Bristol Civic Society commented that they supported the application.

BS3 Planning Group commented that a number of oak trees were to be lost, queried the access to public transport in the interim before Metrobus is up and running, that the site is within the zone of interference of the SSSI at Ashton Court, that proposed houses were architecturally bland and there would be a likely call on community services. These are largely issues that are raised by other writers as below.

A total of 20 responses were received from residents, 5 having been submitted by one writer and 4 from another.

Comments made can be summarised as follows;

Trees- a number of trees, ancient hedge and shrub should be marked for protection and retained- planning permission should be refused - See Key Issue B

Loss of open space/impact on allotments- the impact on allotment holders is enormous, allotments are an oasis in an otherwise urban environment and should be preserved- See Key issues A and G

Ecology- due to proximity of Ashton Court Park SSSI and Ashton Court Park, Woodpasture and Parkland BAP, Natural England and Avon Wildlife Trust should be consulted, planning permission should be refused for the loss of irreplaceable habitats including ancient woodland and the loss of aged or veteran trees, the site merits protection on ecological grounds - See Key Issue B

Parking- this will be impossible on Silbury Road, why can't the access come off the first entrance to the left off Ashton Drive, a number of properties have council land in front of their properties so off street parking is not acceptable, there are inadequate parking spaces planned - See Key Issue H

Access- the proposed is inadequate taking into account the existing one way system with traffic lights and also school traffic, there should be dropped kerbs at the access, there needs to be provision for an access road into the land that will form car park for the planned Ashton Gate Railway Station, there should be at least one pedestrian access - See Key Issue H

Off-site highway works- there should be double yellows on Risdale Road so the no.24 can continue to run and not be blocked by parking during Bristol City Home matches and there should be a built out platform at the bus stop in front of the Robins pub as this is often full of vehicles parked on double yellows- See Key Issue H

Design- the buildings appear to meet minimal standards and are architecturally bland- See Key Issue E

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Play- there is concern that the areas for open space/play is inadequate - See Key Issue D

Views- will there be an impact on views of the suspension bridge? - Officer response- Views are not a planning issue, the impact on neighbours re light and privacy are assessed below.

Boundary with allotment- the proposal for a road with ecological buffer would make this less secure and potentially enable unauthorised access, careful consideration will be given to the detailed design of the boundary treatment to ensure security - see Key Issue G

Boundary with Social Club- a secure boundary fence should be provided prior to the commencement of works - See Key issue G

School provision- Ashton Vale primary school is at capacity, where will primary aged children go to school? - Officer response- a comment from Education has been sought on this issue, the CIL from the scheme can go towards education.

Support- this will provide much needed new housing - See Key Issue A

CIL form- the details of this are queried - Officer Response- it will be the developers responsibility to ensure that this is accurate

Access- there is no attempt to open up the site- See Key Issue H

Cycle parking- some are unsuitably located within gated bin stores and others are in open sided structures that are publicly accessible- See Key Issue H

Archaeology Team has commented as follows:-

Given the lack of archaeological work in the area and the potential identified in the submitted desk-based assessment the most appropriate response should be archaeological conditions attached to the consent to secure a watching brief. This should include B28 and C18.

Flood Risk Manager has commented as follows:-

As this is an entirely greenfield site greener and more sustainable SuDS features should be pursued as the preferred option, in line with the SuDS hierarchy. The attenuation tanks and piped system proposed are much lower down this list compared with many other SuDS still deemed appropriate to use and to serve this development, as indicated in the FRA and drainage strategy. This includes the exclusion of infiltrating SuDS techniques, since these have been deemed as inappropriate through the ground investigation undertaken.

The detailed Sustainable Drainage System Strategy will need to account for ownership and establish responsibility and on-going maintenance of SuDS features serving the development. Such as for the attenuation basin that was proposed.

The end discharge point connecting in to the Colliter's Brook is acceptable in principle. As long as this is in agreement with the other Risk Management Authorities and in accordance with the applicable Environmental Permitting Regulations and connection requirements.

19.3.18 The revised drainage strategy is now acceptable.

Sustainable Cities Team has commented as follows:-

Further information and clarification is required to demonstrate that the design takes into account risk of overheating. Further consideration should be given to a communal heating system in the apartment

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blocks and AGSP's should be considered as a renewable for the houses.

Transport Development Management has commented as follows:-

Amended plans are needed to address queries regarding the internal layout and capacity to accommodate two large vehicles passing and further detail re the proposed Travel Plan.

Urban Design has commented as follows:-

Preliminary comments were produced and sent to case officer and Housing PM, MP, on the 1st of Dec 2017.

Meeting was held on the 4th of Jan

Follow up meeting on 22nd.

On-going advice.

Bristol Waste Company has commented as follows:-

It is recommended that Block D and E be serviced by an ordinary kerb side collection. The current proposal is to have a mixed recycling collection that is not in accordance with BWC collection methodology.

14.3.18 Revised plans received to address issues raised.

Nature Conservation Officer has commented as follows:-

Whilst the ecology buffer areas on the boundaries of the site are welcomed (ideally some of them would be wider and they would all link up to each other without any areas of hard standing), I am concerned about their long term maintenance, particularly the areas behind back gardens which are likely to be vulnerable to the tipping of rubbish and potentially encroachment by householders. These potential risks should be addressed, including within a landscape maintenance plan for the site which should be conditioned.

The application site has now been largely cleared with the exception of trees. The submitted Ecological Mitigation Strategy dated November 2017 should be secured by a planning condition. This includes measures to prevent mammals becoming trapped in excavations and pipes, the need to take account of the bird nesting season, the soft felling of a tree with bat roosting potential (which has previously received a bat emergence/re-entry survey) and the provision of two hibernacula and two interpretation boards (as shown in Appendix 1).

The submitted Wildlife Corridor Management Plan dated November 2017 should be secured by a planning condition. This includes the fencing of hedgerow during the construction period.

There will be a need for an updated badger survey and the treatment of the existing sett on site.

Pollution Control has commented as follows:-

The report is acceptable and its recommendations with regards to average noise levels measured during the day and night. The report also details maximum noise levels measured at night but in the sound insulation specifications does not take the maximum noise levels in to account and states in 9.1.2. 'The specification has not been based on the LAFMAX because of the extremely infrequent use of the railway line adjacent to the proposed development. The WHO guidance on individual noise events is based on levels being exceeded on a regular basis and refers only to the onset of sleep disturbance. In this instance, the existing freight line can remain unused for several days at a time'. Whilst this may be the case it must also be considered that the use of the freight line could be more frequent and there may be other maximum noise levels that should be taken into account and therefore some account will need to be made of maximum noise levels in the sound insulation

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specification.

The acoustic report also only details recommendations for the glazing and ventilation rather than the actual details. Further details will be required by condition.

Crime Reduction Unit has commented as follows:-

The DAS statement makes no mention of how crime and disorder will be addressed, Sections 58 and 69 of the National Planning Policy Framework March 2012 both require crime and disorder and fear of crime to be considered in the design stage of a development.

Crime figures indicate that this area is a low crime area, comments precised as follows; Concerns that the single point of access/exit could lead to conflict with residents and users of Silbury Road. The proposed 133 dwellings will (potentially) result in 450 individuals using this access route. This figure excludes deliveries and other visitors to the site. I note that existing residents have expressed concerns regarding this, (ref consideration of highway issues).

The north eastern end of the proposed development brings the site close to the busy Winterstoke Road, retail units and Stadium, if consideration is not given to pedestrian access to Winterstoke Road from the proposed development, desire lines will soon develop with residents forging their own routes that way. With the refurbishment of the City Ground and the likelihood that this will also become more frequently used to host large music events I feel it is likely that visitors using this site to park and walk through could lead to unlit and potentially unsafe areas as well as being used by mopeds. Mopeds and quad bikes can cause enormous nuisance to residents and create calls for service to the Police due to the resulting anti-social behaviour. Unclear if any measures have been suggested to stop the 'Plaza' from being used as a skate park (which results in reports of anti-social behaviour to the police) or area for congregating generally.

Cycle storage for blocks A and B has limited natural surveillance, should be resited. Boundary treatments should be looked at.

Contaminated Land Environmental Protection has commented as follows:-

Overall the spread of sample locations is acceptable, we have some concerns that the land to the west of the site and area of TP6 (2016 samples) have not had adequate investigation during the 2017 sampling. The site has been identified as requiring radon protection measures and levels of contamination have been found above both human health across the site and controlled waters standards in certain areas. However depending on the proposed earthworks as part of the development further assessment may not be required.

The applicants will need to undertake remediation and a strategy is yet to be submitted, it would be useful if information regarding any earthworks are included within any such strategy.

Arboricultural Team has commented as follows:-

There are concerns regarding the number of trees being removed, this relates to ground levelling operations and this is questioned. T22-T29 could be included in a green area to provide significant amenity value, (the layout has been amended to accommodate this).

T34 is a large specimen that has veteran characteristics that merit further investigation. T10, 19, 25 and 26 could be retained. As proposed the removal of the trees would require a total mitigation of 247 replacement trees.

The significant loss of trees is objected to in favour of some scheme amendment which creates some valuable green infrastructure.

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The Coal Authority has commented as follows:-

It is confirmed that the application site falls within the defined Development High Risk Area, therefore within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of the application.

An analysis undertaken by the report author highlights that boreholes revealed no evidence of past working and where intact coal was found present, sufficient rock cover above all these seams is present to discount any working in these seams from affecting future development.

Confirmation has been given that no built development will be taking place within 30m of the off-site mine entry and the area within 20m will remain as public open space.

On the basis of the submitted information we are satisfied that an adequate assessment of the risks to the proposed development have been carried out, in accordance with the NPPF. The Coal Authority has no objections to the proposed development and no specific mitigation measures are required.

Avon Fire & Rescue Service has commented as follows:-

There are additional Hydrant requirements associated with this application as shown on submitted plan. The costs will need to be borne by developers through developer contributions.

Environment Agency (Sustainable Places) has commented as follows:-

We note the built development is located within Flood Zone 2. On the basis that there is no operational development within Flood Zone 2, we have no objection to the proposal.

We have limited records regarding a historic landfill site within proximity of the development, those records we do hold indicate that land filling may have taken place. Further information on this site may be available from the Local Waste Authority.

Natural England has commented as follows:-

Natural England has no comments to make on this application.

Natural England has not assessed this application for impacts on protected species. Natural England has published Standing Advice which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.

Natural England and the Forestry Commission have also published standing advice on ancient woodland and veteran trees which you can use to assess any impacts on ancient woodland.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

Development Control Committee A – 4 April 2018**Application No. 17/06559/FB: Land To Rear Of Silbury Road Alderman Moores Bristol****RELEVANT POLICIES**

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES**A. IS THE PRINCIPLE OF DEVELOPMENT ACCEPTABLE?**

The site is specifically allocated for residential development in the adopted development plan and there can be no reversal of this decision. The site will contribute to the provision of much needed housing to include new affordable council properties. It is however essential to take into account the development considerations as listed, and other issues as they relate to the site.

i) Ecology

The site falls within a Zone of Influence of the SSSI at Ashton which triggers the need to consult Natural England. They have responded to the effect that they have no comment to make on the application but have referred to standing advice on ancient woodland and veteran trees and underlined the fact that this does not imply that there were no impacts on the natural environment.

The site allocation refers to an 8m wildlife corridor being retained between development and Colliter's Brook. This however has been affected by the construction of the metrobus route which acts as a boundary between the site and the brook. There is an undeveloped strip of land between the bus route and the brook of between 19 and 30 meters in width, this will remain in council ownership and has potential to be managed for nature conservation purposes. This change does mean that this development requirement is no longer relevant.

However the site as a whole falls within a designated wildlife corridor and there is evidence of protected species on site. Policy DM19 is relevant which requires any loss of nature conservation value to be either mitigated on site or off site.

Ecological surveys have been undertaken on site to include individual ones for badgers, reptiles and bats. From these there was some evidence of badger activity and slow worms. During the course of summer 2017 the slow worms were collected from the site and translocated. There will be a need to check the site for badgers prior to commencement of development and if an occupied sett were found then this would have to be either retained or closed with a new artificial sett being created. This work would have to be under licence from Natural England.

The layout includes ecology buffers around the site, significantly along the southern boundary, retains a section of what has been identified as historic hedgerow and a number of mature trees, all having ecological value.

The layout mostly avoids houses backing onto the ecology buffer and the associated problems of tipping of garden rubbish and garden encroachment that can arise as a result of that relationship. Where houses do back onto the ecology corridor on the eastern boundary there will be a need for a strong metal fence along the boundary.

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Full details of planting of these buffers has been provided and it is to be recommended that they be planted up at an early stage in any development and subsequently protected. A Wildlife Corridor Management Plan has been submitted and this should be required by condition.

ii) Contamination

The site has been subject to assessment and a number of reports have been submitted on the results of soil and soil gas testing. The level of sampling is broadly acceptable though there may be a need for some additional sampling on land to the west of the site. Levels of contamination have been found above human health levels and controlled water standards across the site and there will be a need to undertake remediation and a strategy has yet to be submitted. Conditions are recommended to require this additional information.

iii) Coal Risk

There is an area in the vicinity of the proposed access to the site which is a high risk coal mining area and the plans suggest this is a shaft. Accordingly a Coal Risk Assessment was submitted with the application and the Coal Authority consulted who have responded to the effect that records indicate that the site is in an area of likely historic unrecorded underground coal mining workings at shallow depth, they confirm that it is a shaft and apparently it was capped with reinforced concrete in 1980.

Some intrusive site working was undertaken to inform the assessment and this did not reveal any evidence of past working. Given this and the fact that there are not going to be any buildings on or within a zone of influence of the shaft, the road curves around this area, they do not object to the scheme.

iv) Archaeology

An archaeological desk based assessment has been submitted with the application, which concludes that there is low potential for pre-historic and roman remains on the site. Given this potential and the lack of archaeological work in the area archaeological conditions are recommended secure a watching brief

B. IS THE IMPACT ON TREES ACCEPTABLE?

Concern over the loss of trees on the site has been referred to by objectors and is a key consideration.

There are a number of trees on the site and a full arboricultural survey has been submitted to inform consideration of the application.

There are a small number of trees and groups identified as category A with a number of category B trees but the majority being category C. The aerial photograph from 1946 shows that the majority will have grown since the allotments were declared surplus.

If the site is to be developed then it is inevitable that a large number of trees will be lost as a direct result of building, the cut and fill required to accommodate the gradient but also because the need to take trees roots away from the proposed roads. It is important that those to be retained are in locations where they are able to continue to thrive.

The arboricultural officer has objected to the loss of the trees on site as shown on the initial layout however this was revised during the course of the application and now incorporates a central area of open space which coincides with a number of the more significant trees on the site- one identified as category A and the remainder as category B.

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Details of works under the canopy of the other Category A trees, which overhang the site from the Social Club side, will be required by condition though no building is proposed here but fencing and some hard surfacing.

Following inspection of the site by the Arboricultural Officer the potential for one oak tree to be a veteran tree was raised. A tree is classed as veteran if it displays a number of features and is not simply a product of age but relates to nature conservation, cultural, historical and landscape interest.

This was identified as category B3 in the tree survey and was not considered to be veteran by the consultants, it is not shown on the Woodland Trust or Natural England's maps. An earlier tree survey also did not identify it as veteran.

To inform consideration of this matter further survey work has been undertaken of this tree with the conclusion that it is less likely, than likely to be veteran. The assessment has been based on guidance that has been produced by a recognised arboriculturalist which identifies key characteristics of veteran trees. Notwithstanding it is acknowledged as a significant tree of age and its loss requires careful consideration.

Planning policy guidance in the NPPF states that 'planning permission should be refused for development resulting in the loss or deterioration of irreplaceable habitats, including ancient woodland and the loss of aged or veteran trees found outside of ancient woodland, unless the need for, and benefits of, the development in that location clearly outweighs its loss'

It is clear that the oak could not be retained in the context of the proposed layout and, taking into account a significant root protection zone, to keep it would involve a substantial reworking of the proposed development and the loss of a number of dwellings, which would in turn seriously impair the financial balance with the result that there would be fewer new social houses achieved and the development would fail to reach a satisfactory density.

The need for housing within the city is clearly established through the local development plan and the Joint Spatial Plan, which will increase the number of houses Bristol needs to provide, it is also a corporate priority. The benefits of good quality housing to the health and wellbeing of residents are well documented and this development will provide 53 affordable units in the form of new council housing.

As set out above, the layout has been designed to retain a group of trees to include the one category A tree on the site.

A fully worked up landscape plan has been provided that shows large number of new trees, of a size, species and in a location to be viable. At the time of writing a calculation in accordance with the Bristol Tree Replacement Standard had not been submitted for the revised scheme. A financial contribution shall be included in a Memo of Understanding as mitigation should it not be possible to satisfactorily plant the required number of trees on site.

(N.B. as the applicant is the city council it is not possible to complete a legal agreement).

It is concluded that the need for, and benefits of the development, outweigh the loss of this tree in these circumstances.

Most of a length of ancient hedgerow is also retained, a section will be lost to enable access into the site, which is fundamental to the ability to develop it for housing and it is considered that the benefit of development to provide much needed housing justifies this loss. This and the all the retained trees will be protected during construction.

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The overall density of the development has had to take into account the requirement to respect the wildlife corridor and also retain as many of the high quality trees as possible, both limit the amount of developable land. Notwithstanding a density of 53 dph will be achieved which is greater than the minimum of 50dph set out in the core strategy.

The mix of flats and houses that are to be affordable reflect the assessment of the housing need in the ward and at 40% of the total development is above what would be policy compliant, which is 30% in this part of the city- ref policy BCS17. All of these will be for Social Rent and available to residents and current tenants on HomeChoice Bristol. As these properties will remain in the ownership of the council on council owned land.

The mix that are for sale reflects market demand in this part of the city.

It is also relevant however to consider whether the proposal being almost three fifths flats will have any unacceptable impact on the mix of accommodation in the area. Statistics show that in 2015 there was 8% flats overall in the Lower Super Output Area into which this site falls. There has been development since then but this has been limited and the overall balance of houses and flats will not have been significantly altered and not to an extent that would merit objection.

D. WHAT ARE THE HEALTH IMPACT IMPLICATIONS OF THE DEVELOPMENT?

In accordance with the development considerations a Health Impact Assessment has been submitted with the application.

The NPPF highlights the importance of ensuring an integrated approach to considering the location of housing, economic uses and community facilities and services.

Using data from the 2011 census shows that the lower super output area into which the site falls is has a relatively high proportion of people who are retired and for those in employment there is a dependence on the car for travel, although distances to work are lower when compared to the city as a whole. The general health of the area is not as good as the city as a whole though this may be related to the older population.

It is important that the impact of the development on the health of the surrounding area as well as incoming residents is looked at.

It is possible that the temporary jobs that will be created which could help boost the local labour market by providing job opportunities for residents.

The importance of good quality housing to contribute to health is referred to and the development includes good links to the Metrobus route that will serve the development and existing residents providing a healthier alternative to the car.

The development includes, and looks out onto, open spaces, which is known to be associated with good health. There would be scope to provide some opportunities for informal play within the larger space to support child physical and mental development and this is to be investigated.

Information is included that shows all GP services within 3 miles of the site are accepting new patients as are the majority of dental surgeries.

Overall the development is considered to provide a healthy environment and will contribute to the health of the surrounding area.

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The layout of the development has been the subject of considerable discussion and is now felt to provide the best fit that allows ecology buffers of an adequate width, faced by housing as opposed to having housing backing on it so rendering it easier to maintain and removing the risk of waste being dumped or encroachment. It also includes an area of open space that accommodates some of the better trees on the site, access to the metro bus stop and future proofed to allow access to a yard that would serve a new rail station.

Existing and proposed cross sections have been provided to demonstrate the cut and fill that is going to be required to accommodate the gradient across the site.

The buildings are comparatively simple in appearance, the houses have dual pitched roofs and the apartment blocks flat roofed, the development is predominantly brick faced with some render to include the larger detached house adjacent to the access.

The access roads within the site are proposed as shared surface and will be brick paved. The houses are set back from the road and have parking with garden areas to the front.

Car parking is contained either in courts or in curtilage with some on street parking. New tree planting will soften the appearance of the larger areas of car parking.

Cycle parking stands serve the flats and are in a mix of timber and metal and are light in appearance which is considered important given that they are extensive and adjacent to the open space in one instance.

This overall approach is considered acceptable in the context but further details of boundary treatments and threshold areas to buildings at a large scale will be required by condition as will facing materials and hard landscaping materials.

F. WILL THE DEVELOPMENT PROVIDE SATISFACTORY ACCOMMODATION?

Due to the proximity of the incoming Metro bus and the commercial uses to the north of the site an Environmental Noise Assessment has been submitted which is based on measurements and consequently recommends that acoustic glazing with trickle ventilation is used. A condition is recommended to require details.

All dwellings comply with the Nationally Described Space Standards and maintain satisfactory privacy distances. The houses all have access to private rear amenity space and all dwellings will have access to the communal area of open space.

An area of defensible space will be created around the ground floor of each apartment block to include a paved strip and a low wall/railings, this will add to security and privacy for these units.

In accordance with DM4, two wheelchair accessible units are proposed and four disabled parking spaces are proposed across the site, two of which are within the court serving the units.

The Crime Reduction Officer has recommended that the applicant apply for Secure by Design.

G. WILL THE PROPOSAL HAVE AN ADVERSE IMPACT ON THE AMENITY OF EXISTING NEIGHBOURS?

The only houses that back onto the site are those on Silbury Road, these have long gardens and the intervening distance between their rear elevations and those of the proposed houses is approximately 40m and therefore significantly greater than the recommended 21m to maintain privacy. It is also

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relevant that there is an existing hedge along much of this boundary. Most shadow fall from the new buildings will be away from these properties given the orientation and any additional shading of the ends of the Silbury Road gardens will be very limited in extent and time.

Some allotment holders have commented on the need for a robust boundary fence but also expressed concern that the introduction of houses will have an impact on the sense of open space. The issue of the boundary fence to the Social Club is also raised.

As a site allocated for housing it is inevitable that there will be a change in outlook for from the allotments though the ecology buffer and new tree planting will provide screening.

Details of both boundary fences will be required by condition as will external lighting, which will be assessed in part by its potential impact on existing neighbours.

H. IS THE DEVELOPMENT ACCEPTABLE ON HIGHWAY GROUNDS?

The impact on highway safety resulting from increased traffic and overspill parking taking place on the existing highway are matters that have been referred to by objectors. Some have commented that the access should come off Ashton Drive though this would not be feasible given that it would require a route through the allotments.

The Transport Assessment submitted with the application concludes that the projected amount of vehicular journeys can be safely accommodated within the existing highway network. Measure to reduce this will include safe and secure cycle parking to adopted standards and the implementation of a Residential Travel Plan, which is to be undertaken by the council on the basis of a financial contribution.

The access onto Silbury Road is the only feasible location and has been designed to provide satisfactory level of visibility, there will be a need to impose parking restrictions at this point to prevent parking that could impair this. Some neighbours are concerned that the location of the access will prevent them parking on street as there are those that are unable to create off street parking due to intervening grass verges. However there are a number who do have off street parking, to include the house immediately adjacent to the access and where there are dropped kerbs there will not be any impact and potential advantage to having parking legally prevented. Elsewhere there will be no change to the ability to park.

Once operational the Metro Bus will add to the choices for public transport, the crossing of the metro bus route close to the bus stop will enable cyclists and pedestrians to access the shared use path on the opposite side of the route and a second crossing of the route is to be implemented to the eastern end of the site to serve the residents in this part of the site.

The need to formalise this and make it safe has been referred to by the Crime Reduction Officer as this link may also be used by visitors to Ashton Gate Stadium. The officer has also commented on the risk that these routes will be used by mopeds and quad bikes- this relates to the shared path alongside the Metro Bus route as a whole. The issue of preventing some users but not others is not at all easy and this concern has been passed on.

The parking ratio complies with adopted parking standards, which are considered a maximum and should accommodate the parking demand generated by the development. There will be a requirement for the installation of electrical vehicle charging points/or passive provision of an electric vehicles charging points so that a charging point can be added in the future and this will be addressed by condition.

The potential for parking to take place within the site in connection with activities at the stadium but also the Metro Bus stop are recognised and parking restrictions on the roads will be imposed to

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prevent unsafe parking that could block passage of vehicles.

Cycle parking to comply with standards is provided either in rear gardens or in shared secure stores to serve the flats.

Refuse storage is provided in rear gardens or in shared stores that include separate containers for wet and dry recycling in accordance with current collection regime. The preference to have refuse storage integral to a front porch to individual dwellings has been discussed with the developer who has expressed a strong view that purchasers of the market units prefer to have refuse storage within the rear garden. There are pedestrian access points to all rear gardens and it would not be reasonable to resist the proposal on these grounds alone.

Some objectors have suggested highway improvement works at some distance from the site but it is not considered that these could be justified.

I. DOES THE DEVELOPMENT SATISFACTORILY TAKE INTO ACCOUNT THE MATTER OF CLIMATE CHANGE?

As the development is for over 100 a BREEAM Communities assessment is required by BCS15. The issue of whether a formally assessed BREEAM process is appropriate or necessary for a scheme that is only residential has been discussed with the Sustainable Cities Team as it is large, multi-use schemes that would as a rule benefit from the process, which comes with its expenses. It has been concluded that in these instances it is acceptable for a developer to provide their own assessment. Accordingly the applicant has provided an assessment and this is considered acceptable.

a) Drainage

In accordance with the development considerations and because of the size of the site a Flood Risk Assessment has been submitted.

Due to the falls across the site the proposed drainage strategy for the site is a mix of a traditional taking the water to the outfall that has been built to serve the Metrobus route to the north of that and permeable paving to parking areas. The Drainage Engineer is in agreement with this but recommends a condition requiring full details and management information.

b) Energy strategy

The energy strategy state that there will be high levels of insulation to achieve a significant improvement beyond that specified through Building Regulations, PV panels are proposed to provide a policy compliant saving on CO2 above base rate of 22.27%. Otherwise individual gas boilers are proposed to all market sale units but shared boilers to all the new council flats.

This has been queried with the developer who asserts that installation of shared boiler units to serve the market sale flats will add significant cost and that this will affect the viability of the development and in turn the provision of 40% new council units.

A condition is recommended that will allow this to be interrogated further and measures put in place as feasible.

c) Other Sustainability issues

There is a need to assess development to ensure that they are designed in a way to prevent overheating in the first instance, taking into account climate change, and if cooling is needed then this is done by non-mechanical means that do not in turn add to the problem.

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An overheating statement is included but further information is sought on this issue. This can be secured through condition

It is important that superfast Broadband is available to all new development. There is a commitment in the submission to the provision of a connectivity assessment, but this has not been received to date. This can be conditioned.

Where possible materials that are A or A+ rated under BRE's Green Guide and all timber for the site will be sourced and selected from Forest Stewardship Council Sources. A range of efficiency measures for water consumption are stated.

A condition is recommended that requires the stated measures to be implemented.

CONCLUSION

The residential development on this site is welcomed and the proposal achieves a satisfactory density of development within the existing site constraints particularly of ecology and trees. The development of 53 new council houses is fully supported.

The layout includes a number of green open spaces and new trees that will create a healthy and pleasant environment with good access to the Metrobus route and walking/cycling opportunities. The benefits of the development are considered to outweigh the loss of the trees on site and in particular the older oak.

A Memo of Understanding will be submitted to cover the financial contributions listed above.

IS THE DEVELOPMENT CIL LIABLE

The CIL liability for this development is £57,920.27

RECOMMENDED GRANT subject to condition(s)**Time limit for commencement of development****1. Full Planning Permission**

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)**2. No works shall take place, including any works of clearance or demolition, until a construction management plan or construction method statement has been submitted to and been approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period. The statement shall provide for:**

Parking of vehicle of site operatives and visitors;

Routes for construction traffic;

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Method of prevention of mud being carried onto highway;

Pedestrian and cyclist protection;

Proposed temporary traffic restrictions;

Arrangements for turning vehicles

Procedures for maintaining good public relations including complaint management, public consultation and liaison

Arrangements for liaison with the council's Pollution Control Team

All works and ancillary operations which are audible at the site boundary, or at such other places as may be agreed with the Local Planning Authority, shall be carried out only between the following hours: 0800 hours and 1800 hours on Monday to Fridays and 0800 and 1300 hours on Saturdays and at no time on Sundays and Bank Holiday

Deliveries to and removal of plant, equipment, machinery and waste from the site must only take place within the permitted hours detailed above

Mitigation measures as defined in BS 5528: Parts 1 and 2: Noise and Vibration Control on Construction and Open Sites shall be used to minimise noise disturbance from construction works

Procedures for emergency deviation of the agreed working hours

Bristol City Council encourages all contractors to be 'Considerate Contractors' when working in the city by being aware of the needs of neighbours and the environment

Control measures for dust and other air borne pollutants. This must also take into account the need to protect any local resident who may have a particular susceptibility to air borne pollutants

Measures for controlling the use of site lighting whether required for safe working or for security purposes

Reason: In the interests of safe operation of the highway in the lead into development both during the demolition and construction phase of the development. CMP and to safeguard the amenities of surrounding occupiers

3. Prior to the commencement of development, written confirmation by a suitably qualified ecologist shall be submitted to and approved in writing by the local planning authority confirming that they will undertake an updated badger survey immediately prior (i.e. no more than 48 hours) to the commencement of development, demolition or commencement of site/vegetation clearance.

Reason: To protect badger setts from damage or disturbance during development operations bearing in mind that the animal and its sett are specially protected by law.

4. Prior to the commencement of development, details of a scheme for the retention and/or closure of the badger sett or creation of a new artificial badger sett, including the establishment of an exclusion zone around the sett from which all building, engineering, storage, other operations and all vehicles and personnel working on the site should be excluded, shall be submitted to and approved in writing by the local planning authority. The scheme shall include

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details of the provision of access for badgers along suitably wide corridors, measures to prevent badgers becoming trapped in trenches or open pipework during construction works, means for fencing off the exclusion zone and the erection of site notices. The development shall be carried out in accordance with the approved scheme or any amendment of the scheme as approved in writing by the local planning authority.

Reason: To protect the badger sett from damage or disturbance during development.

If monitoring shows that the badger sett is not active, the condition can be discharged following the submission of appropriate ecological information

5. No development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been prepared, submitted to and approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

6. Protection of Retained Trees and Hedgerow during the Construction Period

No work of any kind shall take place on the site until the protective fence(s) has (have) been erected around the retained trees and hedgerow in the position and to the specification shown on Drawing Nos . TPP 03.02.01 and TPP 03.01.A0 received 16.3.18. The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

Reason: To protect the retained trees from damage during construction, including all ground works and works that may be required by other conditions, and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area.

7. No development shall take place until construction details of the internal access road(s) to achieve an adoptable standard have been submitted to and been approved in writing by the Local Planning Authority. The building(s) hereby permitted shall not be occupied or the use commenced until the road(s) are constructed in accordance with the approved plans.

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Reason: To ensure the internal access road are planned and approved in good time to include any Highway Orders and to a satisfactory standard for use by the public and are completed prior to occupation.

8. No construction shall take place until there has been submitted to and approved in writing by the Local Planning Authority a detailed scheme of noise insulation measures for all residential accommodation, this scheme shall also include details of ventilation.

The scheme of noise insulation measures shall take into account the recommendations detailed in the Noise Assessments submitted with the application and the provisions of BS 8233: 2014 "Guidance on sound insulation and noise reduction for buildings".

The approved details shall be implemented in full prior to the commencement of the use permitted and be permanently maintained.

Recommendation:

The recommended design criteria for dwellings are as follows:

Daytime (07.00 - 23.00) 35 dB LAeq 16 hours in all rooms & 50 dB in outdoor living areas.

Nighttime (23.00 - 07.00) 30 dB LAeq 8 hours & LAmax less than 45 dB in bedrooms.

Reason: In order to achieve a satisfactory living environment

9. Prior to the commencement of construction there shall be submitted and approved in writing by the Local Planning Authority further information regarding how the principles required to mitigate the risk of overheating have been integrated into the design process without the need for energy consuming cooling equipment.

Reason: In order to create a healthy and comfortable living environment and minimise the impact on climate change.

10. Sustainable Drainage System (SuDS)

No construction shall commence until a Sustainable Drainage Strategy and associated detailed design, management and maintenance plan of surface water drainage for the site using SuDS methods has been submitted to and approved in writing by the Local Planning Authority. The approved drainage system shall be implemented in accordance with the approved Sustainable Drainage Strategy prior to the use of the building commencing and maintained thereafter for the lifetime of the development.

Reason: To prevent the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal is incorporated into the design and the build and that the principles of sustainable drainage are incorporated into this proposal and maintained for the lifetime of the proposal.

11. Prior to the commencement of development of plot no.1, to include any boundary treatment, full details of the pruning works to trees T8 and T28 and details of the construction of any hard surfacing within its Root Protection Zone shall be submitted and approved in writing by the LPA and subsequently undertaken in accordance with that approval.

Reason: In order to protect these retained trees

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12. All works that take place under the Tree Protection Zone of retained trees, to include those of trees that overhang the site shall be undertaken in accordance with the guidance set out in the Arboricultural Impact Assessment produced by xx dated xx Any pruning necessary shall be undertaken in accordance with BS3998:2010.

For this purpose works shall include all demolition, removal of hard surfaces, introduction of new hard surfaces, installation of services and all works connected to the construction phase such as staff parking and site compound.

Reason: In order to protect the retained trees on the site in the interest of landscape and wildlife.

13. All works on site shall be undertaken in accordance with the Ecological Mitigation Strategy dated November 2017, to include measures to prevent mammals becoming trapped in excavations and pipes, the need to take account of the bird nesting season, the soft felling of a tree with bat roosting potential (which has previously received a bat emergence/re-entry survey) and the provision of two hibernacula and two interpretation boards.

Reason: In the interest of nature conservation

14. Details

Detailed drawings in plan and section at the scale of minimum 1:20 of the following typical details shall be submitted to and approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

i) Detailed location of all boundary treatments to the blocks of flats, including typical sections and elevations at appropriate scale indicating level changes along different stretches, i.e. along back of public pavement, along internal access roads and car parking area, ecology buffers.

ii) Location and specification of the different types of site boundary treatments to the Ecology Buffers, including typical sections.

iii) Boundary treatment to the allotments, existing houses and social club

iv) The front threshold spaces of each housing typology in the scheme, including:

- a. The means of enclosure on individual plots
- b. Hard paving of level landing, car parking plots, shared surface and other similar hard surfaces
- c. Soft landscape and boundary treatment

iv) Arrival and Corner houses

a. Details, and location of, the boundary treatments to house No.1 is required, including sections and elevations at appropriate scale indicating level changes along different stretches, i.e. back of public pavement, house No.2, along sports club, along public open space.

b. Detailed drawings, plan and elevations, of houses nos. 1, 22, 81-82, 93

v) Plaza- detailed drawings of the proposed hard surfacing and landscaping works.

vii) External lighting to include lux contours, details of columns and luminaires

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Reason: In order that the external appearance of the development is satisfactory.

15. Submissions of samples before specified elements started

Samples of all facing materials, wall materials as appropriate, plus roof tiles and paving materials shall be submitted to and be approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved samples before the building is occupied.

Reason: In order that the external appearance of the development is satisfactory.

16. To ensure implementation of a programme of archaeological works

No development shall take place within the area indicated on plan number until the applicant/developer has secured the implementation of a programme of archaeological work, in accordance with a Written Scheme of Investigation which has been submitted by the developer and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.

Reason: To ensure that archaeological remains and features are recorded prior to their destruction.

17. Within three months of the decision date the development hereby approved shall submit:

- A) A technical study to assess the feasibility of either renewable or gas fired community heating to serve the proposed apartments.
- B) Revised drawings identifying where the selected heating infrastructure will be located
- C) A revised air quality assessment assessing the impact of the proposed heating infrastructure, flue location and height.

Reason: To ensure the development incorporates measures to accord with BC14 (sustainable energy).

Pre occupation condition(s)

18. Contamination - Implementation of Approved Remediation Scheme

No occupation of the development shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report (also known as a validation report) that demonstrates the effectiveness of

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the remediation carried out must be produced, and be approved in writing by the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

19. High Speed Broadband provision

Prior to first occupation, evidence should be provided to the local planning authority that the development has been registered with a high speed broadband provider.

Reason- To ensure the development is in accordance with policy BCS15, (Sustainable Design and Construction)

20. Landscaping of ecology corridor

The landscaping to the ecology corridor hereby approved shall be undertaken in accordance with that approval no later than the first planting season following the commencement of construction. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation following commencement of construction.

Following planting the corridor shall be protected by fencing- details to be submitted and approved in writing by the Local Planning Authority and that fencing shall be retained throughout the construction period. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals

The corridor will thereafter be maintained in accordance with the approved Wildlife Corridor Management Plan, Just Ecology November 2017

Reason: In order to enable the corridor to become established and mitigate the loss of wildlife corridor and trees on the site.

21. Landscaping Scheme

Prior to first occupation of the development hereby permitted there shall be submitted to the local planning authority and approved in writing a phasing plan for the approved landscaping. The approved landscaping scheme shall be implemented in accordance with the approved phasing. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Reason: To protect and enhance the character of the site and the area, and to ensure its appearance is satisfactory.

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22. To secure the conduct of a watching brief during development groundworks

The applicant/developer shall ensure that all groundworks, including geotechnical works, are monitored and recorded by an archaeologist or an archaeological organisation to be approved by the council and in accordance with the Written Scheme of Investigation approved under condition.

Reason: To record remains of archaeological interest before destruction.

23. Land affected by contamination - Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition 5 and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition 17, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition ****.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

24. No dwelling hereby permitted shall be occupied until the means of vehicular access to serve that dwelling has been constructed and completed in accordance with the approved plans and the said means of vehicular access shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

25. No dwelling shall be occupied until the means of access for pedestrians and cyclists to serve that dwelling have been constructed in accordance with the approved plans and shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

26. Prior to the occupation of the development details shall be submitted and approved in writing by the Local Planning Authority of the electrical vehicular charging points and/or passive provision of an electric vehicles charging points so that a charging point can be added in the future. The development shall be undertaken in accordance with the approved scheme and thereafter retained.

Reason: in order to support sustainable modes of transport.

27. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s)

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that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

28. Prior to the occupation of development to the east of the proposed open space, there shall be submitted and approved in writing by the Local Planning Authority details of a pedestrian crossing of the Metrobus route and the approach to that crossing from the road within the application site. The crossing and approach shall be undertaken in accordance with that approval prior to occupation.

Reason: In order to support and facilitate sustainable modes of transport.

29. The development shall incorporate the energy efficiency measures, renewable energy, sustainable design principles and climate change adaptation measures into the design and construction of the development in full accordance with the Energy statement (RPS November 2017) and Sustainability Statement, (RPS November 2017) and heating systems in accordance with the feasibility assessment (approved under condition 17) prior to occupation.

Reason: To ensure the development incorporates measures to minimise the effects of, and can adapt to a changing climate in accordance with policies BCS13 (Climate Change), BC14 (sustainable energy), BCS15 (Sustainable design and construction), DM29 (Design of new buildings).

30. Renewable energy -further detail

Prior to implementation, details of the PV panels (including the exact location, dimensions, design/ technical specification) together with calculation of energy generation and associated CO2 emissions to achieve 20% reduction on residual emissions from renewable energy in line with the approved energy statement should be submitted to the Local Planning Authority and approved in writing. The renewable energy technology shall be installed prior to occupation of the dwellings and thereafter retained.

Reason: To ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions

See Advice Note no.1

31. Parking within the development site is to be restricted to the areas allocated on the approved plans shall not encroach onto areas allocated on the plans for other uses.

Reason: To control the level of parking on the site and to safeguard the uses of other areas.

List of approved plans

32. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Technical Note FRA Issue 3, received 16 March 2018

Additional flood risk assessment information, received 16 March 2018

Development Control Committee A – 4 April 2018**Application No. 17/06559/FB: Land To Rear Of Silbury Road Alderman Moores Bristol**

Arboricultural impact assessment, received 19 March 2018
 286.17.LD.001 D Soft landscaping typologies, received 20 March 2018
 286.17.PP.101 B Planting plan 1 of 3, received 20 March 2018
 286.17.PP.102 B Planting plan 2 of 3, received 20 March 2018
 286.17.PP.103 B Planting plan 3 of 3, received 20 March 2018
 5536/P/01 Site location plan, received 30 November 2017
 5536/P/05 Existing site plan, received 30 November 2017
 5536/P/1000 Detail design profile proposals, received 30 November 2017
 5536/P/1001 A Site layout context plan, received 19 March 2018
 5536/P/1002 Finishing materials plan, received 30 November 2017
 5536/P/1003A Proposed refuse recycling and cycle proposals, received 30 November 2017
 5536/P/1004 A Proposed roof layout, received 19 March 2018
 5536/P/1005 Hard surfaces and boundary plan, received 30 November 2017
 5536/P/17T Proposed site layout plan, received 16 March 2018
 5536/P/200A Proposed floor plans market sale, received 30 November 2017
 5536/P/201B Proposed floor plans market sale house, received 30 November 2017
 5536/P/202A Proposed floor plans market sale, received 30 November 2017
 5536/P/203 Proposed floor plans market sale house, received 30 November 2017
 5536/P/210B Proposed floor plans council, received 30 November 2017
 5536/P/211B Proposed floor plans council, received 30 November 2017
 5536/P/250 C Proposed ground floor plan block A, received 19 March 2018
 5536/P/251A Proposed first floor plan block A, received 30 November 2017
 5536/P/252A Proposed second floor plan block A, received 30 November 2017
 5536/P/253A Proposed third floor plan block A, received 30 November 2017
 5536/P/260B Proposed ground floor plan block B, received 30 November 2017
 5536/P/261B Proposed first floor plan block B, received 30 November 2017
 5536/P/262B Proposed second floor plan block B, received 30 November 2017
 5536/P/270D Proposed ground floor plan block C, received 30 November 2017
 5536/P/271C Proposed first floor plan block C, received 30 November 2017
 5536/P/272C Proposed second floor plan block C, received 30 November 2017
 5536/P/273C Proposed third floor plan block C, received 30 November 2017
 5536/P/280 B Proposed ground floor plan block D, received 19 March 2018
 5536/P/281 B Proposed first floor plan block D, received 19 March 2018
 5536/P/282 B Proposed second floor plan block D, received 19 March 2018
 5536/P/283 B Proposed third floor plan block D, received 19 March 2018
 5536/P/285 B Proposed ground floor plan block E, received 19 March 2018
 5536/P/286 B Proposed first floor plan block E, received 19 March 2018
 5536/P/287 B Proposed second floor plan block E, received 19 March 2018
 5536/P/288 B Proposed third floor plan block E, received 19 March 2018
 5536/P/60A Proposed site sections, received 30 November 2017
 5536/P/61 Existing site sections, received 30 November 2017
 5536/P/63 Cross Section 6-6, received 14 March 2018
 5536/P/64 Cross Section 7-7, received 14 March 2018
 5536/P/70 Plans and elevations bin store block A, received 30 November 2017
 5536/P/700A Proposed elevations plot 1, received 14 March 2018
 5536/P/701 Proposed elevations plots 2-5, received 30 November 2017
 5536/P/702 Elevations plots 22-23, received 14 March 2018
 5536/P/703 Proposed elevations plots 24-29, received 30 November 2017
 5536/P/704 Proposed elevations plots 81 and 82, received 14 March 2018
 5536/P/705 Proposed elevations plots 83-84, received 30 November 2017
 5536/P/706 Proposed elevations plots 85-86, received 30 November 2017
 5536/P/707 Proposed elevations plots 87-88, received 30 November 2017
 5536/P/708 Proposed elevations plots 89-90, received 30 November 2017
 5536/P/709 Proposed elevations plots 91-92, received 30 November 2017
 5536/P/71 Cycle store plans and elevations block A, received 30 November 2017

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5536/P/710A Proposed elevations Plots 93-94, received 14 March 2018
 5536/P/711 Elevations, received 30 November 2017
 5536/P/712 Elevations, received 30 November 2017
 5536/P/712 Elevations, received 30 November 2017
 5536/P/714 Elevations, received 30 November 2017
 5536/P/715 Elevations, received 30 November 2017
 5536/P/716 Elevations, received 30 November 2017
 5536/P/717 Elevations, received 30 November 2017
 5536/P/718 Elevations, received 30 November 2017
 5536/P/719 Elevations, received 30 November 2017
 5536/P/72 Elevations bin store block B, received 30 November 2017
 5536/P/72 Plans and elevations Bin store block B, received 30 November 2017
 5536/P/73 Plans and elevations cycle store block B (main car park), received 30 November 2017
 5536/P/74 Plans and elevations cycle store Block B (secondary car park), received 30 November 2017
 5536/P/75 Plans, elevations cycle store and bin store Block D and E, received 30 November 2017
 5536/P/750 C Block A proposed elevations, received 19 March 2018
 5536/P/76 Plans and elevations cycle store block C, received 30 November 2017
 5536/P/760 B Market sale proposed elevations block B, received 30 November 2017
 5536/P/77 Plans and elevations bin store block C, received 30 November 2017
 5536/P/770 B Proposed elevations, received 30 November 2017
 5536/P/770 B Elevation, received 30 November 2017
 5536/P/780 A Proposed elevations, received 30 November 2017
 5536/P/785 A Elevations, received 30 November 2017
 5536/P/790 A Indicative street scenes A-A and B-B, received 30 November 2017
 5536/P/791 A Proposed street scenes C-C and D-D, received 30 November 2017
 5536/P/792 Proposed street scenes E-E and F-F, received 30 November 2017
 5536/P/795 A Existing and proposed street scene site entrance, received 30 November 2017
 9701 D 08017 TF Tree survey figure 01.02, received 30 November 2017
 9701 D 080917 TF Tree survey figure 01.01, received 30 November 2017
 JNY9286-02 Internal site swept path review, received 30 November 2017
 JNY9286-03 Bus routes, received 30 November 2017
 SK100 Rev D Conceptual Drainage and Levels, received 16 March 2018
 SK_100 Indicative levels and drainage strategy, received 16 March 2018
 TPP 03.01 A0 Tree Protection Plan, received 16 March 2018
 TPP 03.02 A0 Tree Protection Plan, received 16 March 2018
 TRRP 02.01.A0 rev1 Tree Retention and Removal Plan, received 16 March 2018
 TRRP 02.02.A0 rev1 Tree Retention and Removal Plan, received 16 March 2018
 Tree Replacement Schedule March 2018, received 20 March 2018
 Landscape and Ecological Management Plan, received 20 March 2018

Reason: For the avoidance of doubt.

Advices

1. PV design guidance:

The applicant is reminded that evidence that the PV design has been approved by an MCS (Microgeneration Certification Scheme) accredited installer to ensure shading is taken into account within the energy generation calculations should be submitted within energy statements and PV details.

Supporting Documents

1. Land To Rear Of Silbury Road

1. Proposed site layout

NOTES

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REVISIONS

- REV: DATE - DRAWN - CHECKED: NOTES
- : 17.08.17 - DC - CC: Drawing created.
- A: 18.08.17 - DC - CC: Unit mix and tenure amended. 4no 2bed & 1no 4bed units in place of 4no 4bed units at entrance.
- B: 25.08.17 - DC - CC: Revisions to flat floor plans following engineers proposed levels and meeting with LPA.
- C: 08.09.17 - CC: General revisions to site layout following meeting with LPA.
- D: 11.09.17 - DC - RJF: Parking court layout west of Block A reorganised.
- E: 12.09.17 - DC - RJF: 8no council flats (Block E) in place of 3no council houses. Future through access to field east of site now shown. Block B repositioned.
- F: 14.09.17 - DC - RJF: Road north west of block C repositioned. Block D & E footprint updated.
- G: 21.09.17 - DC - CC: Updated topographic information added. Existing tree positions updated.
- H: 26.09.17 - DC - RJF: Parking layout updated to provide minimum 1no space per sales flat.
- J: 04.10.17 - DC - CC: Unit mix updated, now showing 2no 3B sale units in place of 2no 3B council units. Plot numbers now shown.
- K: 10.10.17 - CC: Footpaths & patios added. Parking revised. Boundary treatments revised. Planting added. Boundaries updated. Bins & sheds added.
- L: 20.10.17 - DC: Orchard removed.
- M: 24.10.17 - DC - CC: Gate to Plot 1 removed. Visitor cycle spaces added. Timber fence along south east boundary and knee rail along ecology buffer added. Roof plan updated. Potential PV panel locations identified. Bin store locations amended.
- N: 30.10.17 - CC: PV locations now shown on council apartments blocks instead on sales apartments.
- P: 03.11.17 - CC: Major revisions to Block B and surrounding external areas.
- Q: 10.11.17 - CC: Revisions to Block B and surrounding external areas following instruction from client. Parking for plots 22-56 revised. Surfacing to road revised. Traffic calming added. Landscaping revised to suit.
- R: 12.02.18 - CC: Revisions to Block A and Block B made in line with LPA comments.
- S: 05.03.18 - CC: Multiple revisions to road alignment, plot positions, bin/bike stores, footpaths, landscaping boundary treatments, existing tree retention.
- T: 08.03.18 - DC - CC: Gates to rear gardens now shown. Cycle / Pedestrian link added to north east corner of the site to metrobus route. Ramped access along plaza added to bus stop. Front boundary treatments removed. Block C relocated.
- U: 16.03.18 - CC: Communal boiler room added to Block A

DRAWING TITLE

Proposed Site Layout

PROJECT

Alderman Moores

CLIENT

Willmot Partnership Homes

SCALE 1:500@A1
DATE August 2017



DRAWING NO. 5536/P/17
REV U

Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY T: (01452) 424234



WARD: Central **CONTACT OFFICER:** Anna Schroeder

SITE ADDRESS: (Land East Of) Colston Street Bristol BS1 5AY

APPLICATION NO: 16/05680/F and 16/05681/LA Full Planning

DETERMINATION 15 March 2018

DEADLINE:

Alterations to boundary wall, new access, development of sui-generis residential units for students (2no. 5-bed cluster flats), with associated refuse and cycle storage.

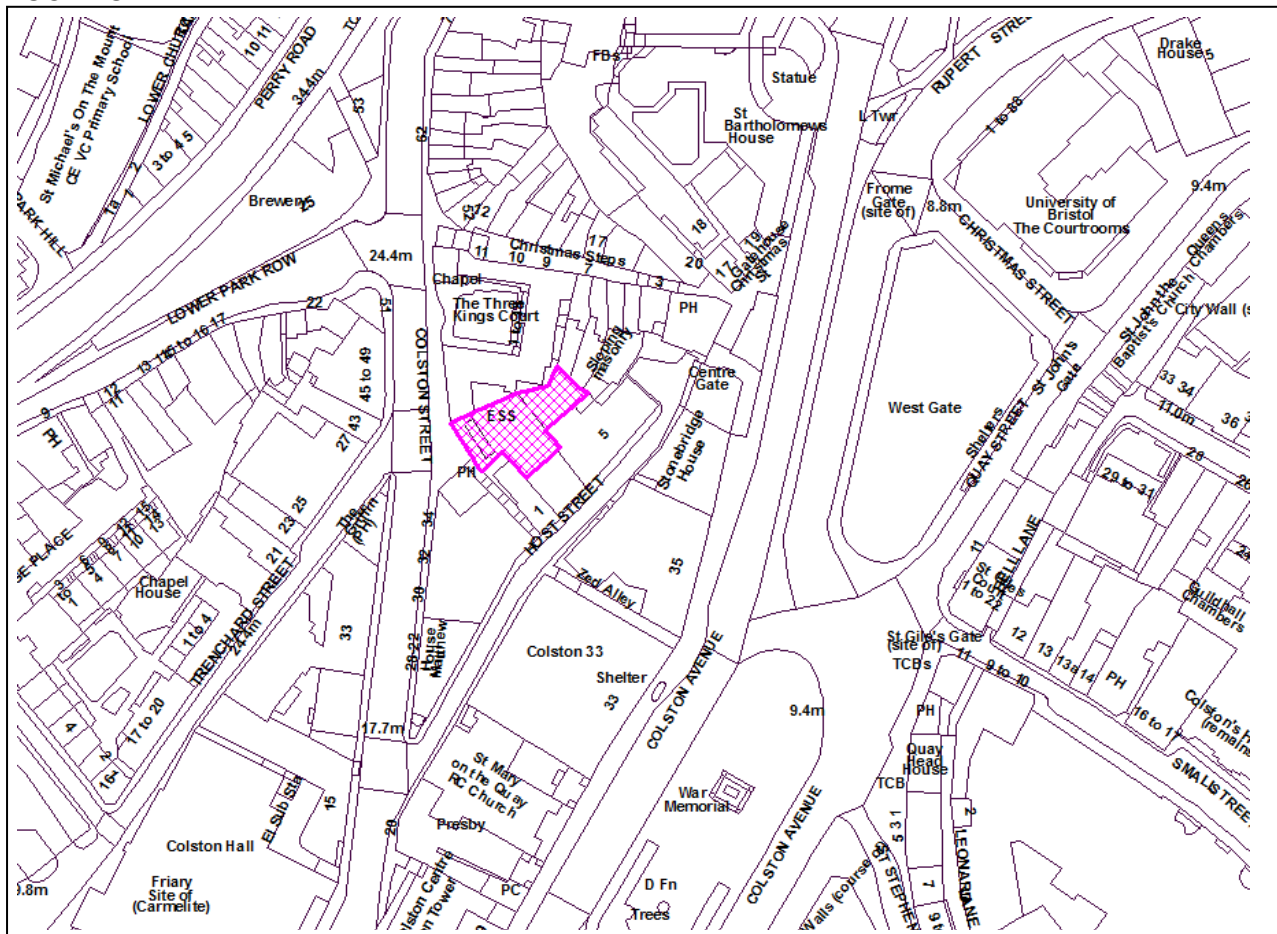
RECOMMENDATION: GRANT subject to Planning Agreement and Grant subject to Condition(s)

AGENT: Aspect360 Ltd
45 Oakfield Road
Clifton
Bristol
BS8 2AX

APPLICANT: Rochford Property Investments
c/o agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 4 April 2018**Application No. 16/05680/F and 16/05681/LA: (Land East Of) Colston Street Bristol BS1 5AY****SUMMARY**

The report relates to applications for planning permission 16/05680/F and listed building consent 16/05681/LA on land to the east of Colston Street, directly south of the Grade II* Foster's Almshouses (Three Kings Court). The report discusses the context of the site, the development proposals and the key issues arising. The officer recommendation is for approval subject to a planning agreement and subject to conditions.

The site lies within the St Michaels Hill Conservation Area and within the Central Area Plan boundary. The last use of the site was as gardens for former residents of Foster's Almshouses. The Almshouses were converted to private residential apartments in 2007 and renamed the Three Kings Court. The garden land was subsequently sold to a separate private developer in 2015. The gardens are currently unused and overgrown.

Planning Permission and Listed Building Consent are sought for alterations to the boundary wall, creation of a new pedestrian access from Colston Street and erection of a two storey building, to provide 2 residential units for students (2no. 5-bed cluster flats (sui-generis)) with ornamental garden, refuse and cycle storage.

The application has been referred to Committee by Councillor Smith, on the following grounds -

I have received numerous representations from local residents and businesses opposing the application. My grounds for referral is that the development proposed is inappropriate for the location, adjacent to a significant listed building within a conservation area. Given the significance of the location I feel this should be considered by the planning committee and give local people the opportunity to comment.

Thirty three objections have been received to the proposal from third parties including the Civic Society and the Christmas Steps Arts Quarter Planning scrutiny group. The objections are summarised in the report and include objections to additional student accommodation in the area, harm to the garden setting of the listed building, harm to the Conservation Area and impact on the residential amenity of residents of Three Kings Court (formerly Foster's Almshouses).

No objections have been raised from the Conservation Officer, BCC City Design Team, BCC Arboriculture Officer, BCC Transport Development Management, or BCC Pollution Control. Historic England have not objected to the application but have raised concerns and advised that these should be considered under the assessment. Arup consultants have reviewed the supporting geotechnical information and provided recommendations regarding further information requirements to ensure that land stability issues are suitably addressed and mitigated.

Officers have undertaken assessment of the application and have concluded that on balance, the development is acceptable and in accordance with the development plan. Officers are recommending that members resolve to grant conditional planning permission and listed building consent, subject to completion of a unilateral undertaking securing financial contribution for tree loss.

SITE DESCRIPTION

The application relates to an enclosed area of land on the east side of Colston Street, directly south of the Grade II* Foster's Almshouses (now known as Three Kings Court) in the city centre. Public views into the site from Colston Street are restricted by a brick boundary wall that runs between Foster's Almshouses (Three Kings Court) and Zed Alley to the south. The land is shelved across two main levels, with the upper level of the site sloping west to east. Application submissions confirm that the last use of the site was as gardens in associations with Foster's Almshouses. Current residents of

Development Control Committee A – 4 April 2018**Application No. 16/05680/F and 16/05681/LA: (Land East Of) Colston Street Bristol BS1 5AY**

Three Kings Court have no access to the land, which is overgrown with vegetation.

The site lies within the Bristol Central Area Plan boundary and is part of the St Michael's Hill and Christmas Steps Conservation Area.

Notable features within the site include three mature trees (two Lime trees close to the Colston Street boundary and Laurel close to the retaining north boundary wall) and a single storey air raid shelter to the west of the site. An electrical substation is located within the site directly to the rear of metal gate set within the Colston Street boundary wall.

Surrounding development.

The site is enclosed by development in close proximity to its boundaries. Grade II* Foster's Almshouses (Three Kings Court), in use as private residential apartments, stands directly north of the site. The southern elevations of the building present a staggered building line, with separation distances from site boundary ranging between 1 -7m.

The Grade II listed 5 Host Street lies to the immediate east (approximately 3.5m from site boundary) and is in office use. Windows in the rear elevations of both developments overlook the site. A vacant plot of land directly adjoining the site to the southeast, adjacent to 5 Host Street, benefits from extant planning permission for a four storey infill office building under 16/02517/F. 1 Host St, to the south of the site is Grade II listed and in office use.

Land uses around the site on Colston and Trenchard Street are varied and include the Sportsman and The Griffin public houses, offices, restaurant, cafes and retail premises, as well as private and student residential accommodation.

Western Power have confirmed the strip of land running to the immediate rear of the boundary wall to Colston Street is within their ownership and subject to a 99 year lease signed in 1997. Certificate B has been served by the applicant to reflect this.

Levels

Plans confirm there is significant fall in ground levels across the site (approx. 2.5m between the northwest and southeast boundaries, and drop of approx. 2.2m between the upper and lower terrace levels.) There is also significant separation in ground levels between the site and surrounding development. The stone retaining walls of the Foster's Almshouses (Three Kings Court) form the northern site boundary, with the communal open terrace to the rear of Foster's Almshouses (Three Kings Court) approximately 2m above the upper terrace of the application land, and some 4.2m above the lower terrace. The lower terrace level within the site is bounded to the northeast by masonry walls, separating the land from the rear gardens to 6-8 Christmas Steps. There is further significant separation in ground levels between the site and Host Street to the southeast; the far south-eastern edge of the site comprises masonry retaining wall dropping down to Host Street street level, approximately 6m below the site.

SITE HISTORY

The application is accompanied by an Archaeological Report, Design and Access statement and Statement of Heritage Significance / Impact Assessment. The submissions clarify that the majority of the site has remained undeveloped and in use as informal garden associated with the Almshouses, with some evidence of built development of the lower level of the site, most likely in industrial use (Goad Fire Insurance Plan 1887-1902). The submissions confirm that 'By the early 20th century the building on the eastern side of the site had been removed and the space landscaped and used by the residents as an informal garden by the occupants of the almshouses. The exact nature and extent of

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this is unknown as by 2006 it had become disused before becoming overgrown and then the site periodically cleared. There is now no evidence within the site of any formal landscaping, pathways or laying out.' (Addendum to Design & Access Statement / Statement of Heritage Significance & Impact Assessment Feb 2017).

APPLICATION

Planning permission was originally sought for erection of two separate new buildings within the site to provide development of sui-generis residential units for students (2no. studio and 2no. 5-bed cluster flats). Following officer negotiations the studio building has been omitted from the scheme and revised plans submitted. Planning permission is accordingly sought for redevelopment of the site and erection of a two storey building to provide 2 units of sui-generis student accommodation, (5 bedspace cluster flats) as detailed below;

-Alterations to boundary wall, creation of a new access from Colston Street

A new gated opening is proposed in the Colston Street boundary wall as the single point of access into the site. The existing gate to electrical substation is also proposed replaced, and existing steps into the site from the terrace to the rear of the Foster's Almshouses (Three Kings Court) removed.

-Provision of 2 residential units for students (2no. 5-bed cluster flats (sui-generis)).

A two storey flat roofed building is proposed erected within the upper terrace of the site, with the lower terrace retained as landscaped ornamental garden. The building would be of contemporary design with green roof and Trespa cladding material finish.

- Refuse and cycle storage is proposed within the existing air raid shelter structure, including provision of x cycle spaces.

-Treeworks

Lime Trees T1 and T2 (BS category B2) to be pollarded to suitable cut points approximately 6m above ground level. T3 Lime (stump) (BS category U) and T4 (Laurus nobilis) are proposed removed.

Listed building consent is also sought for the proposals under 16/05681/LA.

RELEVANT PLANNING HISTORY

The site has limited planning history.

16/03341/VC Bay Laurel (T1) Fell - Granted - Preservation Order not required. (This tree remains in place but is proposed to be removed under the current application.)

08/00561/F Erection of new residential development comprising 6 new apartments including associated work to existing boundary wall and new landscaping. WITHDRAWN

08/00563/LA Removal of railings on top of the Colston Street boundary wall. Steel gates to be removed and replaced. Demolition of existing single storey boiler house. Works to boundary wall and internal ground level, new refuse store. WITHDRAWN

16/02517/F Construction of a 4-storey office building. GRANTED (vacant plot at 3 Host Street below the site).

Development Control Committee A – 4 April 2018**Application No. 16/05680/F and 16/05681/LA: (Land East Of) Colston Street Bristol BS1 5AY****RESPONSE TO PUBLICITY AND CONSULTATION**

The application has been advertised in the press and by site notice. Neighbouring properties have been consulted in three rounds of consultation. Replacement Certificate B has been provided and notice served on Western Power Utilities.

Thirty seven representations have been received, comprising of thirty three objections, two neutral comments and two comments of support. The representations are summarised below;

Bristol Civic Society-

Bristol Civic Society objects strongly to the proposed development. The design and materials are deeply unsympathetic to the character of the St. Michaels Hill and Christmas Steps Conservation Area which would be harmed were the proposal to be implemented. The Foster's Almshouses are a particularly striking group of buildings thoroughly deserving their Listed status. The proposed development does not respect their appearance and would be harmful to their setting. Although the Society has supported the conversion of redundant office space to student accommodation, we see no reason for a purpose built facility to be added to the stock already available in this area. It would contribute to an imbalance in the variety of accommodation available in the vicinity.

Christmas Steps Arts quarter (Residents and Traders) Planning Scrutiny Committee-

Strenuously objects to the planning application on the following grounds:

-Detriment to Foster's Almshouses.

- Detriment to the Conservation area in general; We agree with BCC's Conservation Area Character Appraisals which state that in Conservation Areas, new buildings should be in keeping with neighbouring period buildings regarding palette and colour of materials and their general character. The Conservation Officer is wrong in saying that the proposed building would be hidden behind the front wall. The best part of a metre of the inappropriately flat-roofed modern building would be seen above the wall and would stick out like a sore thumb because every other surrounding building in the streetscape gives the Almshouses a wonderfully unbroken historic setting and atmosphere.

- Exacerbation of a 'harmful concentration' of student accommodation

- Intrusion into privacy of surrounding households

- Ideally, this Association would like to see this garden and trees remain intact as the time-honoured setting for Foster's Almshouses, albeit currently under different ownership.

Individual objectors raise the following issues; (summarised by case officer)

-PRINCIPLE

-Objections to the nature of the development as student housing due to overconcentration of this type of residential development in the area, already have a very high density of students locally and the current high numbers of students are already distorting the local area, causing noise and environmental issues.

-Students do not integrate; become a closed group with fellow students.

-Proposal should be available more to people that live/work in the area.

- Local authority needs to hold to its declared policy of retaining mixed communities in the city centre.

-The character of the area is being eroded by the student housing providers (private and corporate) who cram so many per square foot and then take a hands off approach to managing them.

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-If development is to be permitted it should be for family housing with garden and fewer residents.

-AMENITY

-Proposals would lead to loss of privacy for Three Kings Court residents and have an adverse impact on amenity for users of the private paved area to the rear.

-The proposed buildings face directly into the rear of our property; we are overlooked by lots of buildings here, but none directly into our property and windows. The buildings would face us, and replace a wall of greenery (that has already unfortunately allowed to have been removed).
Case Officer note -the building proposed for the lower terrace is now omitted from the revised plans.

-The rooftop terrace would result in direct overlooking and would ruin the privacy of my garden. The terrace would be higher than my garden, which would mean that people would be looking down on me. The closeness of the proposed terrace would also mean people being able to look directly into my bedroom window.

Case Officer note - the building proposed for the lower terrace is now omitted from the revised plans; no rooftop terrace on retained building.

-Rooftop terrace would result in noise and disturbance; should an outdoor terrace be built onto these proposed student flats, there is no course of action that we can take to stop people using it at all hours. It could potentially become an intolerable situation with partying into the early hours, ruining the peaceful enjoyment of my property.

Case Officer note -the building proposed for the lower terrace is now omitted from the revised plans; no rooftop terrace on retained building.

- There are already pubs in area, additional noise from people in close proximity will add to nuisance.

-It will interfere with light and view enjoyed by ground floor flats of The Three Kings Court.

-Future occupiers - Space standards appear to be smaller than nationally described for housing (i.e. studios should be minimum 37m², or in some cases 31m²).

-HERITAGE IMPACTS

-Historic gardens should be retained as open garden space.

-The proposals would result in harm to local and historic heritage due to the proposed contemporary design and materials.

-Harm to green assets.

- We should not be building on these small pockets of green space.

-Harm to setting to the historic Grade II * Almshouses; the open garden setting would be lost forever.

-The destruction of this traditional garden setting and its replacement with wholly incompatible modern buildings would severely harm the historic atmosphere of the area and its great attractiveness to locals and visitors alike.

-The proposals would harm the character and appearance of the Conservation Area.

-Case has not been made in heritage terms given location adjacent to Grade II*listed building and impact on its setting; few public benefits accrue and there is less than substantial harm - heritage assessment is inadequate.

-Solar panels on the roof is not in keeping with the historic area and would ruin view and ambience of the area for anyone looking out at it.

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-DESIGN

-The design of the proposals is Insensitive; the 'style', footprint form and materials are wholly inappropriate to the setting.

-The designer is attempting to make a virtue of the contrast with the existing buildings, but the attempt is misguided; such a clashing contrast could conceivably work if the new design were exceptionally good. In this case it is not.

-The proposed structure is flat roofed and does not fit in with the surrounding buildings, especially bearing in mind the historical significance of Christmas Steps and Foster's Almshouses.

- The proposed buildings are not in keeping with their neighbours in any way whatsoever: the materials (faceted modern synthetic), the footprint (radical star-shapes), the fenestration (random squares and rectangles with no glazing-bars) and the roof (flat instead of the pitched roof vernacular of the entire surrounding Conservation Area).

-LAND STABILITY

-The required excavations would be in close proximity to supporting walls and foundations of the II* Foster's Almshouses; could create a significant danger of subsidence or collapse of this ancient building as catastrophically as in Boyce's Avenue.

HIGHWAYS IMPACTS

-Road access is miniscule and lacks room for parking, meaning the area would become more gridlocked come the start or end of term due to students moving in/out.

OTHER

-The gardens should be kept as a last place of retreat in the centre of the City, for birds and other wildlife that flourish there.

-The development for a high profit only to the developers without benefit to permanent residents of the area. The development of these residential units is simply an undesirable example of "infill". It is driven by greed and profit and will do nothing for the local community, its permanent residents or established businesses.

-This is a speculative application driven by a speculative purchase of the land in the first place. It has no merit.

-The development would be detrimental to the value of my property (apartment in Three Kings Court)

-Local residents do not want the land used in this way.

-Construction works will be significant nuisance.

-Being 12 bedrooms and therefore presumably a "Major site", we were disappointed that this applicant did not consult us pre-application under the Community Involvement procedure. (Application is not a Major application (less than 10 units).

- Western Power holds a long lease to a ransom strip along the western wall (parallel to Zed Alley), and viewing access was not in fact possible prior to the auction due to WP refusing access on safety grounds. There is no other access route. Planning officials may wish to discover whether this situation still exists.

- Query regarding access for emergency services - How are they going to reach the units furthest from the gate?

- Query regarding Construction process and access issues.

- Further visualisation and long section would be helpful in understanding this complex site.

-Contribution towards improvement of Zed Alley should be considered, including lighting.

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NEUTRAL COMMENTS

No objection to use or design, which is bold and contemporary

SUPPORT

The Conservation Advisory Panel have advised their support for the scheme -

The Panel continues to support this amended application and welcomes the innovation and interest of this design. The building must be capable of being converted from student accommodation to residential use. The pavement and enclosing wall must be protected during construction.

INTERNAL CONSULTEES - summarised

-BCC Conservation Officer - BCC City Design Group/ BCC Archaeology (Combined response)

No objections raised subject to conditions; comments incorporated into Key Issue X. Conditions recommended to secure;

Comments appended to the report in full

-BCC Arboriculture Team -

The detail from the project arboriculturist has unified the pruning of the 2 lime trees T1 & T2 by reducing the canopies to 6m from ground level. This will allow even regrowth of the canopies and maintain them as amenity features. No objections raised subject to the detail within the arboricultural documentation being followed. Financial obligation recommended sought to mitigate removal of Laurel.

Conditions recommended to secure -

-Tree protection

- Arboricultural Supervision

-Landscaping plan

-BCC Transport Development Management Team -

No objections raised subject to conditions; comments incorporated into relevant Key Issue. Conditions recommended to secure;

-Refuse

-Cycle parking

-Construction management

-BCC Pollution Control Team

No objections raised subject to conditions; comments incorporated into relevant Key Issue. Conditions recommended to secure;

-Sound Insulation for future occupiers

-Adherence to the Student Management Plan.

-BCC Land Contamination

No objections raised subject to conditions; comments incorporated into relevant Key Issue. Conditions recommended to secure;

-Phase 2 Site Investigation

- Unexploded Ordnance survey

-Japanese knotweed survey

-BCC Nature Conservation

No objections raised subject to conditions; comments incorporated into relevant Key Issue. Conditions recommended to secure;

-Restrictions on site clearance

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-Removal of Cotoneaster from the site.

EXTERNAL CONSULTTEES

Historic England - No objections, subject to addressing issues of materials, detailing and contextual reference - defer to BCC specialist conservation advice in respect to details and any appropriate conditions.

Initial comments recommended further assessment of the garden setting of the Grade II* Foster's Almshouses and contribution of this setting to their significance. Reconsultation response -

Further to our letter of 12th December 2016, a further augmented Statement of Significance and Design and Access Statement have been submitted for consideration. We were previously quite concerned over the lack of assessment of the application site, with regard to its contribution to the significance of Three Kings Court (formerly Foster's Almshouses). We are pleased that further research into the history of the site has been carried out and that the report concludes that the site 'positively contributes to the setting of Three Kings Court (formerly Foster's Almshouses) and the trees on the frontage assist with providing a soft foil to the otherwise urban context.' We would therefore advocate a form and design of development that conserves the positive heritage values of the site, particularly with regard to views to and from the principal heritage asset. We believe that the further assessment complies with the requirements of para 128 of the National Planning Policy Framework (NPPF).

The augmented Design and Access Statement continues to give a reasoned case for the proposed design approach. The assessment of the characteristics of the conservation area, particularly in relation to building form, orientations and changes in levels across a steep section of the historic city provides the context for the proposed design. We note that the designer takes a view that with a wide palette of building materials and cladding, the variety allows for a modern intervention in the form of the proposed cladding panels. While this is a valid argument, we remain disappointed that the legibility of the development is still somewhat divorced from its context. Contemporary design that makes a valid reference to its context, even in a subtle way is very often more successful, and can be achieved in a variety of ways, particularly materials. We therefore advise that some aspect of the design or/and landscaping makes a legible reference to the historic characteristics of the site. While we remain unconvinced from the amended plans submitted that the development will deliver positively in this sensitive context, we would not wish to object. We would task you with ensuring that the construction is suitably detailed, and that some local distinctiveness is legible within the overall design.

Recommendation

Historic England has no objection to the application on heritage grounds. We consider that the issues and safeguards outlined in our advice need to be addressed in order for the application to meet the requirements of paragraphs 132 of the NPPF. In determining this application you should bear in mind the statutory duty of section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess, section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas, and section 38(6) of the Planning and Compulsory Purchase Act 2004 to determine planning applications in accordance with the development plan unless material considerations indicate otherwise.

Further advice provided on final revised plans; On the basis of an actual reduction in the amount and area of development and our previous comments, we do not wish to make any further observations and defer to your own specialist conservation advice in respect to details and any appropriate conditions that ought to be attached to any approval.

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Arup Consultants -Land stability

Technical Note provided, with advice incorporated into Key Issue X. Recommendation that desk study is considered sufficient to meet requirements of point (i) of policy DM37. To satisfy point (ii) of DN37, Arup consider that intrusive site investigation is required to inform the design of the foundation system to mitigate any land stability risk, including damage to adjacent retaining structures. Overall, the desk study indicates that the proposed development can be constructed successfully without detriment to the neighbouring structures, providing mitigation measures are implemented. Based on the information available for review and noted in Section 2 of this Technical Note, Arup agree with this conclusion.

Arup recommendations; Further information required - to be sought via condition-

-Intrusive geotechnical investigations

-A temporary works assessment, ensuring that the retaining structures are not damaged during construction activities

- An assessment that in the permanent condition, the applied loading from the structure does not increase loading on the retaining walls to any detriment.

-Pre and post works condition survey of all retaining structures in question, in order to demonstrate that they have not been damaged as part of the construction works

-Coal Authority report (although it is noted that no ground workings beneath the site are known to exist (and so the risk of land instability as a result of coal mining is presumably low). (Coal Authority Low Risk site).

Western Power –

Western Power have been consulted and have confirmed the following -

The substation land is held by WPD on a lease that was renegotiated in 2007, with the landowner being Bristol Charities in common with the adjacent Almshouse. The area of WPD's lease covers the entire frontage to Colston Street; as such the proposed "new entrance gate" would require the surrender of a portion of WPD's leasehold. This may or may not be possible and would be subject to consideration from strategic, operational and commercial perspectives.

The blue cable shown running to the north of the site is the service to the Almshouse - while WPD have no specific rights over it this is quite normal as it feeds only one customer, within the same land ownership. Any necessary diversion or protection would be at the developer's cost. The cables supplying the substation from the public highway are covered by an easement strip forming part of the lease.

Western Power right of access to the substation needs to be maintained 24/7 during any construction works.

- Access to substation sites is restricted to WPD authorised personnel only.
- All work in the vicinity of the substation site including lifting operations and wall works to be discussed and agreed with WPD prior to commencing. Any required protection, supervision, diversionary etc. works are fully chargeable.
- Live HV and LV cables cross the site and the surrounding area. Work in the vicinity of live underground cables must be carried out in accordance with HSE guidance note HSG47. Any cables found must be assumed live until proven dead by WPD.

All we would wish to do at this stage would be to draw attention to the presence of the substation and live cables, and that the proposal for a pedestrian entrance would require WPD to surrender a portion of its leasehold which will be subject to assessment and negotiation.

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We would urge the developer to begin discussions with WPD via our Contact Centre at the earliest opportunity, in order to identify feasibility and costs, and to work safely in the vicinity of our live apparatus.

RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES**(A) IS THE PROPOSAL ACCEPTABLE IN PRINCIPLE IN LAND-USE TERMS?**

The proposals raise two land use issues; the acceptability of development of the former garden land and the acceptability of the proposed student accommodation.

(i) Acceptability of the development of the former garden land.

The submissions outline the history of the site and confirm that the land has historically served as informal garden space associated with the Grade II* Foster's Almshouses. The submissions outline that the land had become disused by 2006. The Fosters Almshouses were converted to private residential apartments in 2007, renamed as Three Kings Court. It is understood that the land is now in separate ownership to the Three Kings Court site and that current residents of Three Kings Court have no access or use of the site as amenity space. The land is hidden from public view behind a boundary wall that extends between the principal Almshouse building on Colston Street and along Zed Alley.

The land lies within the Central Area plan boundary and is part of the St Michaels Hill Conservation Area. The land is otherwise undesignated. Given the last known use of the site as ancillary gardens, the development of this land has been assessed against policy DM21, relating to development of private gardens. DM21 confirms that development involving the loss of gardens will not be permitted unless the proposals conform to one of following -

I. The proposal would represent a more efficient use of land at a location where higher densities are appropriate; or

II. The development would result in a significant improvement to the urban design of an area; or

III. The proposal is an extension to an existing single dwelling and would retain an adequate area of functional garden.

In all cases, any development of garden land should not result in harm to the character and appearance of an area.

The proposals have been assessed against these criteria and found in conformity with DM21(I). Compared with the absence of housing from the existing underutilised site, the proposals would represent a more efficient use of land in a sustainable city centre location. The city centre is identified as an appropriate location for higher densities under policy BCS20 and the proposals are considered an appropriate density, taking into account the sensitivities of the site.

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Full conformity with DM21 is necessarily subject to assessment of the impact of the proposals on the character and appearance of the area; these issues are addressed in detail under Key Issue B.

(ii) Acceptability of the student accommodation in land use terms.

The proposal would provide two cluster units of sui-generis student accommodation, with total occupancy of 10 bedspaces.

Policy BCS2 states that development up to 2026 will include the provision of 7400 new homes. Student accommodation contributes towards citywide housing delivery targets in accordance with national guidance (the NPPG) on the basis of the unit and bedspace numbers.

Policy BCAP4 of the Bristol Central Area Plan confirms specialist student housing schemes that contribute to the diversity of uses within the local area will be acceptable in Bristol City Centre unless it would create a harmful concentration of such housing in any given area. Policy DM2 relates to shared and specialist housing, including purpose built student accommodation. This policy identifies that student numbers in the city have risen substantially since 2001 creating demand for a range of private rented accommodation.

DM2 further states that specialist student accommodation (and other forms of residential sub-divisions/ conversions/ shared/ specialist housing) "will not be permitted where:

i. The development would harm the residential amenity or character of the locality as a result of any of the following:

Levels of activity that cause excessive noise and disturbance to residents; or

Levels of on-street parking that cannot be reasonably accommodated or regulated through parking control measures; or

Cumulative detrimental impact of physical alterations to buildings and structures; or

Inadequate storage for recycling/refuse and cycles

ii. The development would create or contribute to a harmful concentration of such uses within a locality as a result of any of the following:

Exacerbating existing harmful conditions including those listed at (i) above; or

Reducing the choice of homes in the area by changing the housing mix.

Where development is permitted it must provide a good standard of accommodation by meeting relevant requirements and standards set out in other development plan policies.

Specialist Student Housing - Location Criteria

Specialist student housing schemes will be acceptable within the city centre. Other locations may be suitable subject to the general criteria set out above."

The site lies within the Central electoral ward, and within the City Centre and Queen Square Lower Super Output Area. (LSOA). Statistics on student population are provided to the LPA from BCC Strategic City Planning/Performance, Information & Intelligence; the latest student data sets relate to 2016/17 and are based on data provided by the universities. These statistics confirm that university students comprise 52.3% of the total population within the Central Area ward area and 44.5% of the total population within the City Centre and Queen Square LSOA. The adjacent LSOAs of University and St James Barton have student populations at 91.5% and 35.9% respectively, (of total population within those areas).

From the statistics set out above it is clear that the student population in the area is significant. Third party objections to the proposals have included objection on the grounds of housing type and cited issues of overconcentration of student accommodation in the area, causing harm to noise and environmental issues. Whilst the site lies close to a number of high density specialist student residential developments in Colston Street, Colston Avenue and Nelson Street, regard has also been given to the range of other land uses in the vicinity of the site, including private housing, commercial

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offices, medical and educational institutions as well as leisure and restaurant uses typical of the City Centre. Pollution Control and Neighbourhood Enforcement Team have reviewed noise complaints records and confirmed no details of any complaints regarding noise from students at 33 Colston St and schemes at Prince William and Matthew House (those student schemes closest to the application site.) Amenity issues and impacts arising from the proposals are assessed in further detail under Key Issue x and are found acceptable.

Overall, given the nature of the mixed use area and limited evidence of harm to amenity arising from the nearest student schemes on Colston Street, officers have concluded that on balance, the addition of a small student development (2 units of 5 bedspaces) in this location would not give rise to such a harmful concentration of student accommodation such that would warrant refusal of the application. The principle of student accommodation in this location is considered by your officers to be acceptable as contributing to the housing supply and meeting a clear demand for purpose built student accommodation in the city. In addition, the proposals would offer some benefit in removing pressure on other housing stock nearby in the city.

Furthermore, it is accepted students bring considerable economic benefits to the city through support of existing businesses and amenities. As such the student accommodation is acceptable in principle on the basis of local policy requirements (Policies BCAP4 and DM2).

(B) TYPE, MIX AND AMOUNT OF HOUSING

Policy BCS18 of the Core Strategy expects new development to maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities. The statistics above outline the balance of population within the immediate and adjacent areas and whilst the proposal is for student housing only, is not considered to result in a harmful imbalance due to the limited scale and nature of the scheme. The proposals do not result in reduction of amount of family housing in the area.

Overall, while officers acknowledge the public perception that there is an excess of student housing in the immediate area, they are satisfied that this application would meet all of the relevant policy tests of BCS2, BCAP4 and DM2 and no objections are therefore raised against the principle of the development in land use terms.

(C) WHAT IMPACT DO THE PROPOSALS HAVE UPON DESIGNATED HERITAGE ASSETS?

In considering the impact of proposals on the historic environment, the National Planning Policy Framework (NPPF) requires Local Planning Authorities (LPAs) to identify and assess the significance of and impact on any heritage asset affected by a proposal. Any decisions relating to listed buildings and their settings and conservation areas must address the statutory considerations of the Planning (Listed Buildings and Conservation Areas) Act 1990 (in particular sections 16, 66 and 72) as well as satisfying the relevant policies within the National Planning Policy Framework and the Local Plan.

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. The Authority is also required (under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area. The case of *R (Forge Field Society) v Sevenoaks DC* [2014] EWHC 1895 (Admin) ("*Forge Field*") has made it clear where there is harm to a listed building or a conservation area the decision maker "must give that harm considerable importance and weight." [48].

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Section 12 of the national guidance within the National Planning Policy Framework (NPPF) 2012 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, with any harm or loss requiring clear and convincing justification. Paragraph 132 of the NPPF states that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Para 134 states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

In addition, the adopted Bristol Core Strategy 2011 within Policy BCS22 and the adopted Site Allocations and Development Management Policies within Policy DM31 seek to ensure that development proposals safeguard or enhance heritage assets in the city.

The heritage assets affected by the proposals are the Grade II* former Fosters Almshouses, the Grade II listed buildings of 1 and 5 Host Street, as well as the Grade II properties on Christmas Steps. The site is also located within the St Michaels Hill and Christmas Steps Conservation Area and the impact of the development on the asset of the wider Conservation Area has been taken into account.

The green space subject of the application clearly forms part of the setting of the aforementioned listed buildings, following the NPPF definition of setting as "the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, and may affect the ability to appreciate that significance or may be neutral."

The application submissions include a combined Heritage Impact Assessment and Design and Access Statement. An addendum to the Design and Access Statement/ Statement of Heritage Significance and Impact Assessment was provided in response to initial comments from Historic England.

The application is before committee following call in from Councillor Smith on the grounds that the development proposed is inappropriate for the location, adjacent to a significant listed building within a conservation area. Third party objections have included strong representations that the proposals would result in harm to the setting, character and appearance of the Foster's Almshouses and Conservation Area. The comments of BCC Conservation Officer and Historic England are therefore reproduced in full below.

Consultation responses from the Conservation Officer.

We welcome the proposal to recess the building below the sightline of the wall facing Colston Street, the retention of the mature tree and the WWII shelter, and accept the minor demolition involved in creating a new opening through the existing wall to provide access. The proposed building is an exciting contemporary response to a challenging topography and sensitive heritage setting. The building will have low impact on the setting of Fosters Alms-house, and will be a recessive element when viewed from the public highway. The historic garden use of this area appears not to have been part of the original design approach.

1.2 We are satisfied that this building will not represent a high degree of harm to the building, (Fosters Almshouses) and the degree of harm should be seen as offset by the public benefit in new student housing of a high quality design, and responsible scale.

The Heritage Assets

2.1 This site is within an extremely sensitive heritage setting, being within the St Michael's Hill conservation Area and in close proximity to a number of Grade II 1and II* Listed buildings. Principal amongst these is Fosters Almshouse, a late C19th reconstruction of a medieval institution.

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The Almshouse is formed around an open courtyard to Colston Street on its west side, and is elevated on a high retaining wall to the rear; these being part of the de-facto curtilage Listing.

2.2 The site is formed of a series of terraces descending from west to east. Historically these formed parts of the rear gardens and yards of properties on Host Street. Subsequent industrial development in this area has obliterated most of the plot boundaries. The western section of the site, adjacent to Colston Street appears never to have been developed following the removal of Steep Street, leaving a vacant plot that after 1884 was utilised by the Almshouse with the provision of stepped access.

2.3 There is a high probability that archaeological deposits will remain preserved in several areas, particularly in the western section where development of former back gardens may overlay earlier deposits.

2.4 This part of the Conservation Area has an eclectic mix of 2 and three-storey buildings predominantly of the C17th and C19th. The materials used are equally various and include both handmade and machine made brick, coarse rubble stone walling, smooth and roughcast painted render, and some vestigial half-timbering.

2.5 The principle feature adjacent to the site is the architecturally effusive alms-house itself. A high-Victorian confection of Burgundian gothic motifs applied across a series of the humblest of dwellings. The building is predominantly of a ruddy red brick enlivened with diaper-work in dark brick, elaborately carved stonework, and an array of ornamental leadwork on the roof that's unparalleled in the city.

2.6 The public display of the west front is severely pared down to the south and east elevations where greater economy was exercised. These facades retain some of the motifs, such as diaper-work, but dispense with the majority of the embellishments where they were seen only by residents. The palate of materials remains of high quality, but through need of robustness rather than display.

2.7 The rubble-stone retaining wall across the back of the site supports the irregular footprint of the building and encompasses some external space to the former lodgings. In places this is little more than a narrow passageway divided from the drop by railings, but in others it expands into small south-facing courtyards.

2.8 The site is divided by substantial changes in level, each retained by more rubble stone walls. The upper terrace in the area is now occupied by a large tree and a WWII air raid shelter, later adapted for re-use.

Proposals

3.1 Previous applications for this site have sought approval for intensive and over-dominant development focussed on the west end of the site. This would have resulted in the loss of a mature and attractive tree and threatened substantial harm to the unlisted, but significant, air raid shelter. Those proposals were previously rejected on grounds of design and impact upon designate assets.

3.2 The current proposal makes use of the whole of the terraced site by gently stepping-down the building footprint incrementally from west to east in line with the topography. The building never exceeds two storeys, but, by utilising flat roofs, and the natural slope, manages to virtually disappear behind the level of the wall, tree, and air raid shelter retained along the west side of the site.

3.3 The proposal represents a fractured building form which has the potential to create an exciting scheme. Changes in level, shard-like forms, and winding angular paths through them appear

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to respond to a multitude of angles generated from the site boundaries and surrounding building. This should be read as a positive, yet unorthodox, approach to interpreting site context.

3.4 The fragmented form of the building is also expressed in the external envelope of the building where metallic panels are cut and mounted at angles. This is intended to reflect the materiality of the leadwork on the Almshouse building, the angular vocabulary of the building plans, and, more tentatively, reflect the Victorian diaper-work in a modern idiom.

3.5 Flat roofs of the building are proposed to be planted green roofs, with the change of levels exploited to provide some roof-top terraced areas. The fractured form of the building also enables the provision of angled windows to living spaces which is intended to overcome issues of amenity and privacy.

Recommendations

4.1 The proposed building will have an extremely low impact on the setting of the Grade II* Listed Almshouse when viewed from the public realm. Hidden behind the existing boundary wall, WWII air raid shelter, and, seasonally, the tree, the roofline of the new structure will only be visible as a regressive element rising just above the existing wall at some distance. The only impact on the public really appears to be the formation of a new access door in the north side of the boundary wall.

4.2 The proposed building will not be readily visible from other locations within the Conservation Area. The proposed materiality has no appropriate precedent within the palette of materials within the Conservation Area. We maintain a reticence over the proposed materials, the Trespa-type cladding, though we appreciate the reasons for its choice in this setting, and as part of the building's contemporary interpretation of the context. We require conditions appended to any approval that are required to secure the over-all design quality of the design, but specifically the material, its fixings, and finishes.

4.3 We welcome the retention of the existing tree, site boundary wall, and WWII air raid shelter. We consider the impact of the proposals on other assets around the site to be relatively low. Grade II Listed structures to the south already back-onto a sheer retaining wall, and the site is separated from them by this and external space around the proposed buildings. The height of the proposed building is higher than the parapet of the retaining wall surrounding Fosters Almshouse at the rear, but the buildings draw back from it, and are considered to be subservient in scale and massing. There is some concern over the proximity to the Listed Building, but this is recognised to be a less significance façade, and one where impact on amenity is considered more of an issue than the harm to the setting. Buildings along Christmas Steps will be unaffected by the built-form of the proposal, and the retaining wall supporting Fosters Almshouse will be protected. The proposed building will not be visible in long views from Christmas Street, where the half-timbered gables of the east façade of the Almshouse, with their intentional architectural show from a distance, will be unobstructed.

4.4 Over-all the proposal represents a conceptually strong and high quality architectural response to the site and its context. Although the interpretation of this setting has been filtered through a contemporary architectural approach the proposals stand a high chance of forming a low-impact and sensitive addition to the cascading building forms that descend from St Michael's Hill to Christmas Steps.

4.5 In recommending this scheme for approval we do not wish to set a precedent for the use of the modern material within the Conservation Area, nor encourage further developments of a similar nature. However, we consider the distinctiveness of this proposal, the unique response to the site, and the clear ambition to minimise impact by responding to context, to be both brave and progressive. The proposed use of Trespa panels in this setting is integral with the wider design concept, and add to the architectural expression rather than diminishing it. The question could be

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asked whether there are more traditional materials which could achieve the expressed intended effect, but it is difficult to think of any. In this singular instance we accept the addition of this material within the Conservation Area.

4.6 We recommend approval for the scheme with the clear proviso that the high quality design, and the proposed materials and detailing, must be secured by condition, and future dilution of the design and material quality would be strongly resisted. Recommended conditions are provided.

The Conservation Officer was re-consulted following submission of revised plans and has confirmed -

There is a degree of not-substantial harm posed to the Grade II Listed building. There is also public benefit in bringing underused land back into beneficial use. In this instance we consider that the potential benefit and the high quality design are likely to offset this harm. The listed building is finished to a high quality across its rear elevations, but it is clear that these were intended to be subservient to the main courtyard. The proposals aim to minimise the impact upon these facades. The value of the site as the setting of the Listed building is relatively low, with no direct historic connection between the site and its use, or having at least some precedent for historic development across it.

In light of recent appeal cases we do need to consider the visual amenity of residents within the Conservation Area outside of the visibility of the development from the public realm. In this respect our consideration has changed from our original comments. It is clear that the building will not preserve the existing character of the conservation area in this location. However we do consider that it has the potential to enhance it through high quality design and an imaginative response to site, context, and materiality. In order that these benefits are maximised we consider that there should be careful consideration of the appearance and use of the proposed flat roofs, and potentially the mitigation of any negative impact where possible.

Consultation responses from Historic England

The application site proposed for student accommodation sits below the Three Kings Court, formerly known as Foster's Almshouses, and designated grade II* and within the conservation area. It has its principal courtyard elevation onto Colston Street with Christmas Steps descending along its northern elevation and pedestrian steps connecting to Host Street along the south-west boundary. While the site appears to have been historically associated with the almshouses, it is now in separate ownership, but still forms an aspect of their setting. It also contains substantial trees and offers a green respite within the conservation area.

Historic England Advice

In assessing the contribution of the setting of the heritage asset to its significance, we would cite Para.128 of the National Planning Policy Framework (NPPF) which states that: 'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance....' While the application site is not readily visible from the public realm, its contribution to the setting of the almshouses needs to be proportionately assessed, and we do not consider that the submitted Heritage Impact Assessment quite achieves this. If the heritage values, and therefore contribution of the site to the significance of the asset can be properly measured, the impact of the proposed development can be better informed.

We understand that there have been previous proposals on the site amounting to a greater quantum of development (ref: 08/00561/F), and that this application was subsequently withdrawn. We previously commented that development on such a sensitive site was likely to be of concern. However, we advised that a more modest development, taking a clear steer from its historic context may be considered more favourably. The submitted proposals include a substantially lower building,

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sitting on the portion of land below the rear of Three Kings Court. We consider that its domestic scale is more befitting and would be less conspicuous within the conservation area. However, we remain convinced that the design approach has been suitably justified. We refer to Para. 137 of the NPPF that states that: 'Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably'. In such a case we would seek a form of development that preserves the elements of the site that contribute to the significance of the setting of the former almshouses and conservation area. While we support the principle of contemporary design in the historic environment, there must be a degree of legibility within its context. We are unconvinced at this time that the profiled panelling, absence of a well-detailed eaves, and fenestration without any articulation will achieve the NPPF test.

Recommendation

We advise that further assessment of the garden setting of the almshouses, and its contribution to their significance is carried out. This should then inform the design of any new development, and this ought to be more thoroughly detailed than the present submission. We would welcome the opportunity of advising further. Please consult us again if any additional information or amendments are submitted.

Historic England were consulted following submission of revised information and responded as follows;

Further to our letter of 12th December 2016, a further augmented Statement of Significance and Design and Access Statement have been submitted for consideration. We were previously quite concerned over the lack of assessment of the application site, with regard to its contribution to the significance of Three Kings Court. We are pleased that further research into the history of the site has been carried out and that the report concludes that the site 'positively contributes to the setting of Three Kings Court and the trees on the frontage assist with providing a soft foil to the otherwise urban context.' We would therefore advocate a form and design of development that conserves the positive heritage values of the site, particularly with regard to views to and from the principal heritage asset. We believe that the further assessment complies with the requirements of para 128 of the National Planning Policy Framework (NPPF).

The augmented Design and Access Statement continues to give a reasoned case for the proposed design approach. The assessment of the characteristics of the conservation area, particularly in relation to building form, orientations and changes in levels across a steep section of the historic city provides the context for the proposed design. We note that the designer takes a view that with a wide palette of building materials and cladding, the variety allows for a modern intervention in the form of the proposed cladding panels. While this is a valid argument, we remain disappointed that the legibility of the development is still somewhat divorced from its context. Contemporary design that makes a valid reference to its context, even in a subtle way is very often more successful, and can be achieved in a variety of ways, particularly materials. We therefore advise that some aspect of the design or/and landscaping makes a legible reference to the historic characteristics of the site. While we remain unconvinced from the amended plans submitted that the development will deliver positively in this sensitive context, we would not wish to object. We would task you with ensuring that the construction is suitably detailed, and that some local distinctiveness is legible within the overall design.

Recommendation

Historic England has no objection to the application on heritage grounds. We consider that the issues and safeguards outlined in our advice need to be addressed in order for the application to meet the requirements of paragraphs 132 of the NPPF. In determining this application you should bear in mind

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the statutory duty of section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess, section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas, and section 38(6) of the Planning and Compulsory Purchase Act 2004 to determine planning applications in accordance with the development plan unless material considerations indicate otherwise. Historic England were consulted on the final set of plans and confirmed that on the basis of an actual reduction in the amount and area of development and their previous comments, they do not wish to make any further observations - deferring to BCC specialist conservation advice in respect to details and appropriate conditions.

Officer assessment

The advice contained within these responses has been considered and given critical weight in assessment of the application. Third party representations have also been taken into account. The preservation of the entire garden setting has been requested by some objectors as the ideal, on the grounds that the character of the space as a garden connected with the Almshouses is valued, long established and appreciated by the community. Objections also refer to the harm that would be caused from the appearance of the development in such close proximity to the Almshouses building, potentially affecting views out of the Almshouse building and surrounding Listed Buildings and views towards these buildings from the site itself.

The visual qualities of the site as an undeveloped setting for the Almshouses are noted. Notwithstanding, the land is not open to current residents of Three Kings Court or the public for leisure or recreation and is not managed as an ornamental or tended garden.

Based on the specialist advice of Heritage consultees, officers consider that the applicants have provided an adequate Heritage Impact assessment, in accordance with the requirements of s128 of the NPPF. The Conservation Officer has identified and assessed the significance of the heritage assets affected (in accordance with s129 NPPF), and advised that the value of the undeveloped application site to the significance of the Almshouses is relatively low. Whilst the Conservation Officer does determine the impacts from the application as less than significant harm to the Almshouse listed building and its Conservation Area setting, s134 of the NPPF refers and requires this harm to be weighed against the public benefits of the proposals, including securing its optimum viable use.

The Conservation Officer identifies public benefits in the limitation of the development to the rear of the principal listed building, avoiding impact upon the more decorative public facades and formal gardens fronting Colston St integral to the significance of the site. Public benefit is also identified by the Conservation Officer in bringing the underused land back into beneficial use and the potential for a high quality design solution to be achieved and secured via the condition discharge process.

The assessment has also had regard to the requirement under s72 of the Planning Conservation Area Act, with special attention paid to the desirability of preserving or enhancing the character or appearance of that area. Whilst the development would not preserve the current appearance of the site as green undeveloped land, the Conservation Officer advice is that the form and design of the development and opportunity to secure high quality material finish will meet the s72 requirement as an enhancement of the site.

Historic England have advocated a form of development that conserves the positive heritage values of the site, particularly with regard to views to and from the principal heritage asset. The overall form height and massing of the development would help ensure that the development would not impair or obstruct available views of the Foster's Almshouses from public vantages within the Conservation Area.

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The form of the development is unusual in its overall appearance and angled elevations, comprising a two storey flat roofed structure, of clad Trespa style exterior. The upper level and form of the new building would be glimpsed from outside the site, following the pollarding of the trees, however these trees would provide screening in views from the public realm for some of the year following regrowth. The new building would be clearly visible from rear elevations of 5 Host Street and from the Fosters Almshouse units and external amenity terrace overlooking the site. The development would clearly have greater impacts in these private vantages across and into the site, assessed as follows;

-Views towards Grade II* Almshouse Building from Grade II 5 Host Street

The development has been amended to remove the units originally proposed for the lower portion of the site, which would now be retained as an ornamental garden. The development would not preserve the character or appearance of existing views towards the principal listed building and its setting from 5 Host Street. However, on balance, given that the available views from the Grade II listed office building of 5 Host St are of the less significant rear façade and the Conservation Officer has found low value in the undeveloped nature of the site to the significance of the principal listed building, no objections are sustained on this point.

-Views towards Grade II* Almshouse Building from Grade II1 Host Street.

Views towards the principal Almshouse building and its current setting are limited due to the topography of the site and existing boundary walls - no objections are sustained on this point.

-Views across the site from Grade II*Almshouse building and communal terrace area to the rear.

The proposals would have clear impacts on these views, given the proximity and massing of the new building to the Almshouse site and communal amenity area to its rear. On the basis of the specialist advice provided, the degree of harm arising from the altered aspect to the principal building from these private views is considered less than significant. On balance, and again on the basis of the specialist advice from the Conservation Officer, this less than significant harm is considered outweighed by the low degree of value identified in the application site to the significance of the Grade II* Almshouses, and the potential to achieve a high quality design solution and material finish to the new building to mitigate the identified harm.

ARCHAEOLOGY

Policy BCS22 Conservation and the Historic Environment requires development proposals to safeguard or enhance heritage assets, including archaeological remains. The City Archaeologist has recommended various conditions to ensure written scheme of investigation for a archaeology watching brief, including monitoring of all geotechnical ground works, to ensure that archaeological remains within the site are appropriately recorded.

CONCLUSION

Based on the specialist advice from the Conservation Officer and Heritage England, officers consider that a recommendation of refusal of the scheme on heritage grounds is difficult to justify. The support for the proposals from the Conservation Advisory Panel (CAP) is also noted. The overall scale of built development has been halved following officer negotiations and is now restricted solely to the upper portion of the site, with the lower level retained as an open gardened landscaped space. The existing contribution of the site to the surrounding listed buildings on Host St is considered limited, given the neglected and overgrown character of the space and physical and functional separation of the site from these Listed Buildings. The appearance of a new building of striking modern design within this tight site would be a significant visual and physical intervention within the setting of the listed Almshouses and would be clearly visible to those residents utilising the communal area or overlooking the site. The upper portion of the new building would be glimpsed from Colston Street/ Trenchard Street environs but due to its setback within the site and screening from the retained trees the visual impact is considered acceptable.

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The development has been assessed in its impact as less than substantial harm to the listed building and its setting, following the NPPF definition under s134. However, the Conservation Officer maintains that in his specialist opinion, this harm is outweighed by the public benefit of securing active use of the land and that this and the potential for a high quality design solution outweigh the identified harm, given the low value of the existing overgrown setting to the listed building. In addition, whilst the Conservation Officer accepts that the development will not preserve the existing character of the Conservation Area in this location, he again emphasises the beneficial enhancement of the site and its contribution to the Conservation Area via high quality design and material finish of the scheme.

The above expert advice is noted and forms the basis of the officer recommendation of approval, subject to appropriate conditions. Taking the above into account, and on balance, it is considered that the character and nature of this relatively hidden open space is not considered so significant to the affected heritage assets as to prevent development of the site, subject to sensitive design response of any new building. Considerable importance and weight has been given to the harm caused to the listed buildings, their special interest and their setting, however it is concluded that the public benefits of active use of the site and a high quality innovative design solution would outweigh the identified level of harm. Considerable importance and weight has also been given to the harm caused to the Conservation area, both in private and public views, however this is considered to be a limited degree of harm and outweighed by the public benefits outlined above. The development is therefore considered to accord with Sections 16,66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Section 12 of the NPPF and Local Plan Policies BCS22 and DM31.

(C) DESIGN CONSIDERATIONS

The NPPF and NPPG identify good design as a key aspect of sustainable development and establish the importance of local distinctiveness. Development should seek to promote character in townscape and landscape by responding to and reinforcing locally distinctive patterns of development, local man-made and natural heritage and culture, while not preventing or discouraging appropriate innovation. The Bristol Core Strategy contains a number of policies relating to design that require development in the city centre to be of the highest standard in terms of appearance, function, conservation of heritage assets, sustainability and maintaining and enhancing green infrastructure and protecting key views (BCS2). In particular policy BCS21 'Quality Urban Design' requires development to deliver high quality urban design that contributes positively to an area's character and identity, through creating or reinforcing local distinctiveness. Policy DM26 'Local Character and Distinctiveness' further reinforces the importance of local character and distinctiveness; it lists a number of general design principles that contribute towards this, including the requirement to respond to an incorporate existing land forms, green infrastructure assets and historic assets and features.

Also material to assessing the design of the proposal are policies DM27 'Layout and Form' which requires development to have a quality urban design that results in healthy, safe and sustainable places; DM28 'Public Realm' which requires that development creates or contributes to safe, attractive, high quality, inclusive and legible public realm that contributes positively to local character and identity and DM29 'Design of New Buildings' which requires new buildings to be designed to a high standard, setting criteria to assist in achieving this. Overall both local policy and national guidance (section 7 of the NPPF) recognises the importance of good design meaning development will not be permitted where it would be harmful to the local character and distinctiveness.

Finally, the Bristol Central Area Plan (BCAP) contains specific policies relating to this area or 'neighbourhood' within the city centre. The site lies within St Michael's neighbourhood (as identified within the BCAP) where development should "protect the area's historic assets and respond strongly to the area's topography through its design, preserving or enhancing local and long distance views respecting the dominance within the townscape and skyline of existing historic landmarks.

City Design Group (CDG) feedback on the scheme has been incorporated into the Conservation Officer's comments above; with no conflict identified with the above design policies or objections

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raised from CDG on the building's contextual relationships, siting, height, scale and massing, design, character and appearance or materiality. On balance, taking these specialist comments into account and given the restricted visibility of the scheme from the public realm and opportunity to ensure high quality material finish via the condition process, officers consider the proposals to be an appropriate quality and design in this sensitive location.

(D) AMENITY

Thirty three objections have been received from third parties, including objections that the scheme would result in harm to surrounding residential amenity from noise and disturbance, as well as overlooking and loss of privacy to existing residents of Three Kings Court to the immediate north.

Various local plan policies require the impact of the development on residential amenity to be assessed and taken into account. BCAP4 and DM2 both provide detailed assessment criteria and confirm that student development will not be permitted if the development would harm the residential amenity of the area. Various design policies also require that new development should safeguard the amenity of existing development, including BCS21, DM27 and DM29.

Following amendments to the scheme design there will be no access to the flat roof area of the building for residents of the development. The lower terrace of the site is retained as ornamental garden ; residents of the accommodation will not have access to this garden, in order to limit potential noise impacts affecting those properties on Christmas Steps that back onto the site.

Potential for noise and disturbance

The application has been supported by a Student Management Plan, setting out that the developer has experience in management of other Bristol student schemes and seeks to employ a 'good neighbour' policy to help preserve the amenity of local residents and encourage a sense of community. Access and security arrangements are confirmed, as well as a Facilities Management Team, that would be responsible for keeping the development in good order, with availability 24 hours/day to deal with issues arising and emergencies, including responsibility for student welfare; anti-social behaviour, tenant management and compliance procedures.

The main impacts of the proposal would be felt by immediate neighbours to the site, namely the residential apartments to the immediate north within Three Kings Court and office premises to the east at 5 Host Street. The proximity of these existing developments to the site has been considered alongside the location of the access points to the units on the north side of the new building and external areas.

The occupation and use of the site as student accommodation would result in increased activity and comings and goings compared to the existing disused gardens, however given the city centre location, background noise levels, scale of the scheme and restricted entry via keypad, this is not envisaged to result in harm to amenity to a degree that would warrant refusal of the scheme. The level change and retaining walls to the Three Kings Court would act as a buffer and help to mitigate the impact of increased activity around the site. Assessment of amenity impacts has included consultation with BCC Pollution control who have confirmed they have no objections to the development in terms of potential harm to existing surrounding amenity from increased noise and disturbance.

Impacts on Three Kings Court

Potential for harmful overbearing impacts/ loss of daylight/overlooking
Three Kings Court apartments (former Foster's Almshouses) are the closest residential development to the site. Objections have been received from residents of Three Kings Court on grounds of harm arising to amenity from overlooking, overshadowing...Assessment of amenity impacts from

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overbearing and proximity of the proposed building has included officer site visits to the Three Kings Court and regard to the open communal terrace to the rear above the application site.

The elevated position of the terrace has been shown on plans between 2 and 4m above the variable ground level of the application site. There are residential windows within the rear elevation of Three Kings Court that look onto the terrace and application site beyond. The existing Laurel Tree (T4) provides screening between the Three Kings Court terrace and the application site below - this tree has extant consent for removal under 16/03341/VC and is confirmed for removal under the current application.

Plans indicate that the proposed building would stand some 5.3m in height (taken from ground level outside building entrances) and would appear some 2.5m above external terrace level to the rear of Three Kings Court. The separation distances involved between Three Kings Court and the new building can be appreciated from site layout plans (1599(L)21K, 1599(L)22J). The respective staggered building lines result in varied separation distances between 5.5 - 8m in total. Whilst these distances are clearly tight and restricted, regard has been had to the notable level change between the sites which would reduce the overall impact of the building on those windows within Three Kings Court looking into the site.

It is acknowledged that the presence of the new building would have some harmful impact on the outlook from the rear terrace and Three Kings Court apartment windows looking toward the site, when compared with the existing situation. However, the relatively low height, massing and staggered form of the building would not result in an unacceptable sense of enclosure or loss of daylight, which in turn reduces the overbearing impact of the new structure on those windows and amenity terrace to the rear of Three Kings Court.

In terms of overlooking potential and harmful intervisibility between Three Kings Court and the new building, the respective level changes have been taken into account. It is noted that the existing terrace to the rear of Three Kings Court is communal and as such, not strictly private in terms of amenity for users of this shared space and those windows of Three Kings Court apartment looking over this area. On balance, in this context, the degree of overlooking and intervisibility between apartments/the shared terrace of Three Kings Court and the new building is considered reasonable, taking into account the internal layout of the student scheme.

Overall and on balance, it is not considered that the proposed impact of the new building on the amenity of Three Kings Court apartments (in terms of overbearing sense of enclosure, loss of light or harmful overlooking) is significant enough to warrant a refusal on residential amenity.

Impacts on 1 Host Street

Objections from occupiers of this premises have been received, primarily on grounds of heritage impact. 1 Host St is in use as offices and is located below the site to the immediate southwest. Outlook from openings to the rear of this building is already constrained, due to the height of surrounding boundary walls and impact of existing trees within the site. The siting, massing and window locations serving the new building would not result in harmful sense of enclosure/loss of light/privacy or overlooking to this premises, given the configuration of the respective plots.

Impact on 5 Host Street

This premises is in use as offices and is located to the east of the site. Windows to the rear of the building directly overlook the lower terrace within the application site. No objections have been received from the current occupiers of the building. Impact assessment has included visit to this premises. Taking into account the scale and location of the new building within the site, it is considered that the proposal can be accommodated without unreasonable impacts on 5 Host Street; the siting, massing and window locations serving the new building would not result in unacceptable

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sense of enclosure/loss of light/ privacy or overlooking into 5 Host Street, given the configuration of the respective plots and oblique window interrelationships.

Impact on 3 Host Street (16/02517/F Construction of a 4-storey office building (Extant consent)

The impact of the development on the building consented under 16/02517/F has been considered. Concern was expressed that there would be direct overlooking between the application building and the new office building consented at 3 Host Street; obscure windows have been provided in the southern elevation of the new building to counter any adverse impacts. The separation distances between the respective buildings would be tight at 3.5m, with lightwell already proposed to the rear of consented scheme at 3 Host St. On balance, given the scale, city centre location, nature and use of both buildings, it is considered that the compromised relationships arising would not result in such harm from overbearing, enclosure or daylight impacts as to warrant refusal of the proposals in this instance.

Impact on Christmas Steps properties

Given the removal of the studio building originally proposed for the lower terrace, the impact of the development on the amenity of those Christmas Steps properties backing onto the site is considered acceptable. The ornamental garden would act as a discrete buffer zone and taking into account the general background noise levels and proximity of existing surrounding development, the impacts on amenities of Christmas Steps residencies are not considered so detrimental as to warrant refusal of the scheme.

Amenity of future occupiers

DM21 states that development will be expected to create a high-quality environment for future occupiers. Policy DM29 refers to the design of new buildings, requiring them to be designed to a high standard of quality and to achieve an appropriate level of privacy, outlook and daylight. DM2 includes the expectation that a good standard of accommodation is provided in purpose built student schemes. DM14 is also relevant and requires developments to deliver a healthy living environment.

Objections to the proposals have been received on grounds of compliance with space standards. It is noted the national space standards do not apply to student accommodation, the development is for student housing within a sui generis use and as such would require planning permission were the development to be occupied as general residential use under a C3 use class. The key assessment criteria is whether the development would provide acceptable living conditions for future occupiers; the application has been assessed on this point with particular regard to quality of internal living space, privacy and outlook.

Each of the units would provide a communal living/kitchen/dining area to the northern side of the building, 2 WC areas and separate facility for laundry. Some concern is expressed at the constrained daylight and outlook from a number of the proposed bedrooms within the scheme, due to the proximity of surrounding development, existing boundaries and shading from the retained trees within the site. Overlooking potential has been averted via obscure windows to the south elevation and it is appreciated that whilst this would restrain outlook, harm is mitigated to some extent from provision of additional clear view windows facing to the north east.

Overall and very much on balance, taking into account the nature of the scheme as specialist student accommodation for a transient end occupier, it is considered that the scheme would provide an adequate living environment for future student occupants.

Development Control Committee A – 4 April 2018**Application No. 16/05680/F and 16/05681/LA: (Land East Of) Colston Street Bristol BS1 5AY****(E) WILL THE PROPOSED WORKS ADDRESS THE LAND STABILITY ISSUES AND MINIMIZE RISK TO ADJOINING OCCUPIERS?**

The Local Planning Authority (LPA) has an important role in minimising the risk and effects of land stability on property, infrastructure and the public (NPPF). Policy DM37 provides the detailed criteria applicants are expected to address where there is reason to suspect unstable land and where the risk of instability has the potential to materially affect development.

DM37

On sites where there is reason to suspect unstable land and the risk of instability has the potential to materially affect either the proposed development or neighbouring uses/ occupiers, development will only be permitted where:

- i. A desk-based study of available records has been carried out to assess the previous uses of the site and their potential for instability in relation to the proposed development; and
- ii. Where the study establishes that instability is likely but does not provide sufficient information to establish its precise extent or nature, site investigation and risk assessment are carried out to determine the standard of remediation required to make the site suitable for its intended use. Where remediation measures are necessary, conditions or obligations may be applied to ensure that the development does not take place until appropriate works are completed.

A Desk Study Geotechnical Report has been submitted with the application, and this has been revised and updated to reflect the current scheme.

The LPA appointed ARUP consultants to review the submitted information and they concluded that the desk study appears to provide a detailed and comprehensive desk based assessment of the site and the likely constraints on the proposed development, with the content of the report in line with what would normally be expected for a geotechnical desk study for a development of this nature.

Arup have confirmed the desk study indicates that the proposed development can be constructed successfully without detriment to the neighbouring structures, providing mitigation measures are implemented and Arup have agreed with this conclusion. Arup have provided recommendations for further information required from the developer to fully satisfy policy DM37; in summary;

- Intrusive geotechnical investigations to determine a profile of the top of the rock over the site, to ascertain engineering properties for the weathered and intact rock and investigate the characteristics of any made ground underlying the site.
- A temporary works assessment, ensuring that the retaining structures are not damaged during construction activities;
- An assessment that in the permanent condition, the applied loading from the structure does not increase loading on the retaining walls to any detriment.
- A pre and post works condition survey of all retaining structures in question, in order to demonstrate that they have not been damaged as part of the construction works. This could include a visual assessment, photographic record, and surveyed targets attached to the walls, amongst other measures.
- A recommendation to obtain a Coal Authority report, although it is noted that no ground workings beneath the site are known to exist (site falls within a Low Coal Risk zone).

Arup have also drawn attention to the potential impact of replacement tree planting on existing (and proposed) structures - see Key Issue F for further detail on Tree impacts.

Significant consideration has been given to the presence of the Grade II* listed Foster's Almshouses in immediate proximity to the northern boundary and the critical need to ensure that the development can be carried out with adequate safeguards in terms of land and structural stability of this important

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heritage asset. As such, Arup recommendations are attached as pre-commencement conditions to the consent recommendation. In addition, due to the extreme sensitivity of the listed buildings surrounding the site, evidence of a suitable insurance policy held by the developer is also sought as a pre-commencement measure.

In conclusion, whilst the site has a complex geology and the exact ground conditions are not yet fully known, provided that insurance is in place to cover any potential problem as a consequence of the proposed works, there is no planning justification to resist development subject to these conditioned safeguards.

(F) TREE IMPACTS

In accordance with policies BCS9, BCS11, DM15 and DM17, green infrastructure, including trees and ecology on development sites should be safeguarded and enhanced where possible. Where this is not possible, developer contributions should be taken to provide for mitigation of losses, in accordance with policy BCS11 and the Planning Obligations SPD.

The significant contribution of the mature Lime trees within the site to the character and appearance of the Colston St environs has been taken into account in the assessment. It is accepted that the immediate area has little open green space and whilst public views into the site are limited, the Lime trees provide significant visual amenity and relief to the local streetscene and setting to the Foster's Almshouses (Three Kings Court).

The proposals would involve tree works comprising pollarding of the Lime trees to agreed points 6m from ground level to allow for the construction process, due to the limited access into the site. The Laurel tree close to the retaining wall of the Almshouses to the north of the site is also proposed removed; due to poor form and root impacts on retaining boundary structures. 1 lime tree stump has also been identified for removal. BCC Arboriculture officers have sought to ensure that prescribed tree works to the Lime trees are carried out in a similar manner to maintain the same light levels to each tree so they can recover uniformly following the pruning work. An arboriculture method statement and tree protection have been submitted in support of the tree works and reviewed by BCC Arboriculture Officers.

BCC Arboriculture Officers have raised no objections to the proposed tree works, subject to securing suitable mitigation for the removal of the Laurel tree, confirmed as either 3 replacement trees planted within the site or a financial contribution of £2,292. Replacement tree planting within the site has been considered but due to the proximity of surrounding development and retaining boundary structures the financial contribution has been sought via a planning legal agreement. This agreement has not yet been finalised; as such, any final recommendation of approval would be subject to completion of legal agreement. BCC Arboriculture Officers have also recommended suitable conditions be attached regarding tree protection, site supervision and landscape plan.

(G) TRANSPORT

Policy BCS10 expresses that development should be located where sustainable travel patterns can be achieved and sets out transport user priorities with sustainable means being primary considerations. Policy DM23 requires adequate access to sustainable transport means and requires adequate provision in relation to servicing.

BCC Transport Development Team have been consulted on the proposals and have raised no objections in terms of highways impacts. Given the proximity of the site to the public right of way of Zed Alley a detailed Construction management plan is sought via condition to clarify hoarding location and ensure safe pedestrian access is maintained during the construction process.

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Adequate waste and cycle storage to serve the development is proposed located within the site, utilising the existing air raid structure; conditions are recommended to secure these arrangements and ensure that the management company returns containers to the storage area following collection. A number of refuse receptacles are located immediately outside of the site on Colston Street and it is understood these are utilised by the Sportsman pub and other local residents. The construction process may necessitate temporary relocation of these bins to an alternative location nearby. The site is in a sustainable location that in principle in highway terms is considered to be acceptable for a mixed use development such as this, as it would concentrate development within walking distance of public transport hubs, services and facilities.

The development would fall under the requisite threshold requiring wheelchair accessible housing. The developers have provided justification for the access arrangements to the units as follows;

The site is located on one of the steepest slopes in Bristol, in an area characterised by high retaining walls and narrow stepped allays. It is also located adjacent to the listed Fosters Arms Houses, behind a world war 2 air raid shelter and Western Power's substation. At the start of the design process, the option of relocating the substation was investigated, although Western Power were happy to move the substation, the retention of the historically important bomb shelter prevented this. The retention of the Air Raid Shelter and substation limits the potential location for the entrance to the new development to the top corner of the site. As the site has to be entered at its highest point as well as the steep gradients across the site, and the fact the site is split into several distinct levels, there is no possibility of a level access site, which would not significantly affect the entrance to the air raid shelter, the historic retaining walls and setting of the Alms Houses. That said, the new stepped approach is designed in accordance with Approved Documents K and M, and is suitable for the ambulant disable and those with limited mobility. Both units also have WCs at the entrance level, appropriately designed stairs and corridors of a generous width to accommodate those with limited mobility and acknowledged constraints of this steeply sloping site. Whilst access into the residential units is less than ideal, the topographic and heritage constraints of the site are appreciated as impacting on the layout and configuration of the development; on balance, no objections are raised on accessibility grounds in this instance.

(H) NATURE CONSERVATION

Policy DM19 states:

"Development which would be likely to have any impact upon habitat, species or features, which contribute to nature conservation in Bristol will be expected to:

- i. Be informed by an appropriate survey and assessment of impacts; and
- ii. Be designed and sited, in so far as practicably and viably possible, to avoid any harm to identified habitats, species and features of importance; and
- iii. Take opportunities to connect any identified on-site habitats, species or features to nearby corridors in the Wildlife Network.

Where loss of nature conservation value would arise development will be expected to provide mitigation on-site and where this is not possible provide mitigation off-site.

BCC Nature Conservation Officer has been consulted and raised no objections to the proposals subject to conditions. Specifically, conditions are recommended attached restricting clearance of vegetation or structures suitable for nesting birds, between 1st March and 30th September inclusive in any year without the prior written approval of the local planning authority, to ensure that wild birds building or using their nests are protected. (The authority will require evidence provided by a suitably qualified ecologist that no breeding birds would be adversely affected before giving any approval under this condition.)

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The Extended Phase One Habitat Survey dated April 2016 recorded Cotoneaster on site. As a planning condition, Cotoneaster should be removed from the site and omitted from any planting proposals because several Cotoneaster species are included on Schedule 9 of the Wildlife and Countryside Act 1981 and tend to be very invasive of semi-natural habitats.

The Design and Access Statement refers to a proposed green roof which is welcomed. However no further details seem to be given of its design. The provision of a living roof should be secured by a planning condition to include details of its construction, planting design and maintenance. A landscaping condition is also recommended.

(I) SUSTAINABLE DESIGN, ENERGY AND CONSTRUCTION

Policies BCS13, BCS14 and BCS15 set out the approach development should take to mitigating climate change through sustainable design and construction.

Policy BCS13:

"Development should contribute to both mitigating and adapting to climate change, and to meeting targets to reduce carbon dioxide emissions."

Policy BCS14:

"Development in Bristol should include measures to reduce carbon dioxide emissions from energy use in accordance with the following energy hierarchy:

1. Minimising energy requirements;
2. Incorporating renewable energy sources;
3. Incorporating low-carbon energy sources.

Consistent with stage two of the above energy hierarchy, development will be expected to provide sufficient renewable energy generation to reduce carbon dioxide emissions from residual energy use in the buildings by at least 20%."

Policy BCS15 sets out that new development should address the following issues:

"Maximising energy efficiency and integrating the use of renewable and low carbon energy; Waste and recycling during construction and in operation; Conserving water resources and minimising vulnerability to flooding; The type, life cycle and source of materials to be used; Flexibility and adaptability, allowing future modification of use or layout, facilitating future refurbishment and retrofitting; Opportunities to incorporate measures which enhance the biodiversity value of development, such as green roofs."

The applicant has submitted revised supporting documents and incorporated the following into the development ; solar panel renewable technology with rooftop provision of 2.5 kW; array area of approx. 22m². The new building will exceed current building regulation maximum requirements for thermal and controlled elements. The predicted annual saving in energy from renewables, over the residual energy demand has been calculated as 1079 kg pa, which equates to a saving on residual emissions of 22.3% from the use of renewables. Overall, the proposed development is considered to accord with the sustainable design, energy and construction principles secured by Policy BCS13, BCS14 and BCS15.

(J) FLOOD RISK

The site lies within flood zone 1; no flood risk issues arising. A sustainable drainage scheme is proposed secured via condition.

Development Control Committee A – 4 April 2018**Application No. 16/05680/F and 16/05681/LA: (Land East Of) Colston Street Bristol BS1 5AY****CONCLUSION**

In conclusion, your officers recommend approval of the application subject to the conditions outlined and subject to receipt of a legal agreement for the payment of obligations to mitigate against the removal of the Laurel tree.

The key considerations are the principle and limited amount of proposed student accommodation, which your officers advise to be acceptable in this location in policy terms. The impact on the identified significant heritage assets have been carefully considered, taking into account the specialist advice from Historic England, the Conservation Officer and the Council's City Design Group.

Overall, and on balance, it is considered that there are public benefits in the limitation of the development to the rear of the principal listed building of the Foster's Almshouses (Three Kings Court), avoiding impact upon the more significant public facades and formal gardens fronting Colston St. Public benefit is also identified by the Conservation Officer in bringing the underused land back into beneficial use and the potential for a high quality design solution to be achieved and secured via the condition discharge process. There is also some public benefit identified in provision of a managed specialist small scale student scheme as a response to the high demand for student accommodation in the area, helping to mitigate against potential demand for conversion of existing housing stock. As such, and on balance, the proposals are considered in accordance with s134 of the NPPF and the heritage and design policies of the local plan.

Amenity concerns are considered adequately addressed and secured via condition. Land stability concerns are also addressed, with further information secured via conditions in order to mitigate any adverse impacts on the site or surrounding listed buildings.

In conclusion, approval of the application is recommended subject to conditions and completion of a unilateral undertaking for a financial contribution for off-site tree planting.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) will this development be required to pay?

The development will be liable for CIL, the sum has yet to be finalised and will be confirmed to Committee on the amendment sheet.

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of the proposal in relation to the Equalities Act 2010 in terms of impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence that different groups have or would have different needs, experiences, issues and priorities in relation to this particular proposal. Overall, it is considered that neither the approval nor refusal of this application would have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

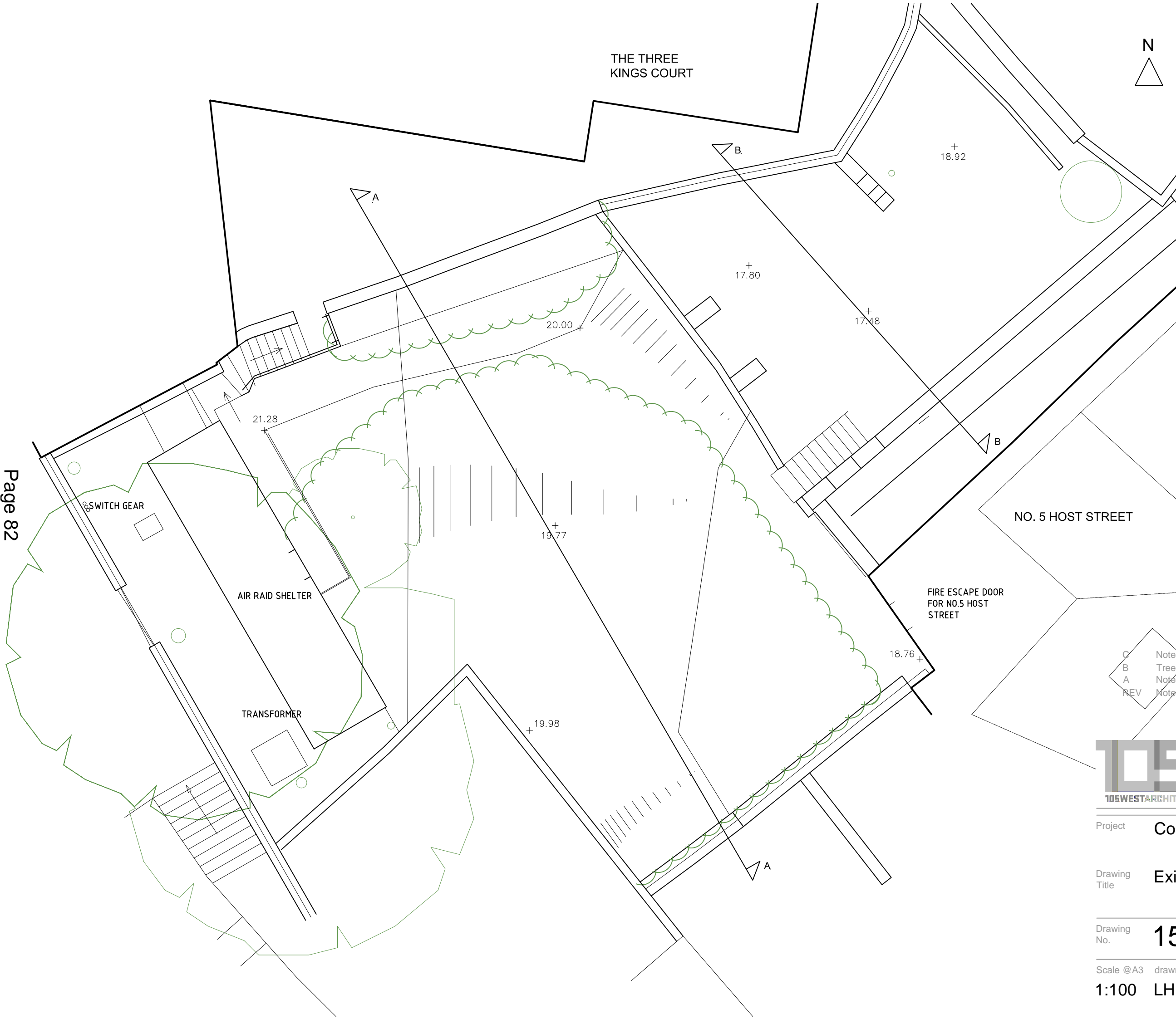
CONDITIONS

A full schedule of conditions for both the planning and separate listed building consent will be reported to members via the amendment sheet.

Supporting Documents

1. (Land To The East Of) Colston Street

1. Existing site plan
2. Proposed Level 2
3. Proposed level 3
4. Proposed North elevation
5. Proposed West elevation
6. Site photographs
7. Student management plan



Responsibility is not accepted for errors made by others scaling from this drawing. All construction information should be taken from figured dimensions only.

REV	Note	Date
C	Notes and Section lines added	03.03.16
B	Tree updated	29.02.16
A	Notes Added	14.07.15

04m

@1:100



105 WEST ARCHITECTS Ltd
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Bristol. BS6 6SW
T: 0117 3737596
E: info@105west.co.uk
Web site: www.105west.co.uk

Project	Colston Street		
Drawing Title	Existing Site Plan		
Drawing No.	1599(L)02		
Scale @A3	drawn by	Date	Rev
1:100	LH	14/07/15	C

N

EXISTING STEPS
REMOVED AND
WALL MADE
GOOD

LANDSCAPED
BUFFER ZONE, NO
ACCESS FOR
RESIDENTS

1800mm GATE
LOCKED SHUT

ENTRANC
UNIT 5

STUDY ROOM
11.6 SQM

LIVING ROOM
/ KITCHEN
20.4 SQM

UNIT 3
100 SQM

STUDY ROOM
11.7 SQM

STUDY ROOM
11.6 SQM

WM &	
TD	

STUDY ROOM
11.5 SQM

STUDY ROOM
12.0 SQM

EXISTING
FIRE ESCAPE
RETAINED

L	Reuse are moved and store created	24.01.1
K	Re-configuration bedrooms and windows	14.07.1
J	Studios removed	26.04.1
I	Terrace Removed	23.03.1
H	Ramp amended	06.01.1
G	Steps amended	06.01.1
F	Entrance steps removed and replaced with ramp	06.01.1
E	Unit renamed	10.08.1
D	Unit removed	10.08.1
C	Notes added	02.03.1
B	Section Lines added	01.03.1
A	Unit 5 Removed	27.01.1
REV	Note	Date

REV	Note	Date
0		4r
		@1:10



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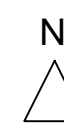
Project **Colston Street**

Drawing Title

PROPOSED LEVEL TWO

Drawing No. **1599(L)21**

Scale @A3	drawn by	Date	Rev
1:100	TF	14/12/16	L



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THE THREE
KINGS COURT

Page 84



K	Refuse area removed	24.01.18
J	Re-configuration bedrooms and windows	14.07.17
I	Studios removed	27.04.17
H	Terrace removed	23.03.17
G	Ramp amended	06.01.17
F	Steps amended	06.01.17
E	Entrance steps removed and replaced with ramp	06.01.17
D	Unit renamed	10.08.16
C	Unit removed	10.08.16
B	Notes Added	02.03.16
A	Unit 5 Removed	27.01.16
REV	Note	Date



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Project

Colston Street

Drawing Title

PROPOSED LEVEL THREE

Drawing No.

1599(L)22

Scale @A3

drawn by

Date

Rev

1:100

TF

14/01/16

K

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Materials

Windows: Velfac Aluminium Composite in RAL 7016
Doors: Velfac Aluminium Composite in RAL 7016/ solid timber doors painted in RAL 7016
Blue semi-engineering brick plinth
Cladding: Trespa Meteon Naturals range in Casted Grey and Trespa Meteon Metallics Aluminium Grey Satin
Roof: Planted green roof
Balustrades/Handrails: Painted metal railings in RAL 7016





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Project Colston Street

G	Refuse area removed	24.01.18
F	Wall adjusted	19.07.17
E	2 Units removed	27.04.17
D	Terrace removed	23.03.17
C	Ramp and stairs amended	06.01.17
B	Unit removed	10.08.16
A	Notes Added	02.03.16
Ref	Note	Date

Drawing Title

PROPOSED NORTH ELEVATION

Drawing No.

1599(L)27

Scale @A3

1:100

drawn by

TF

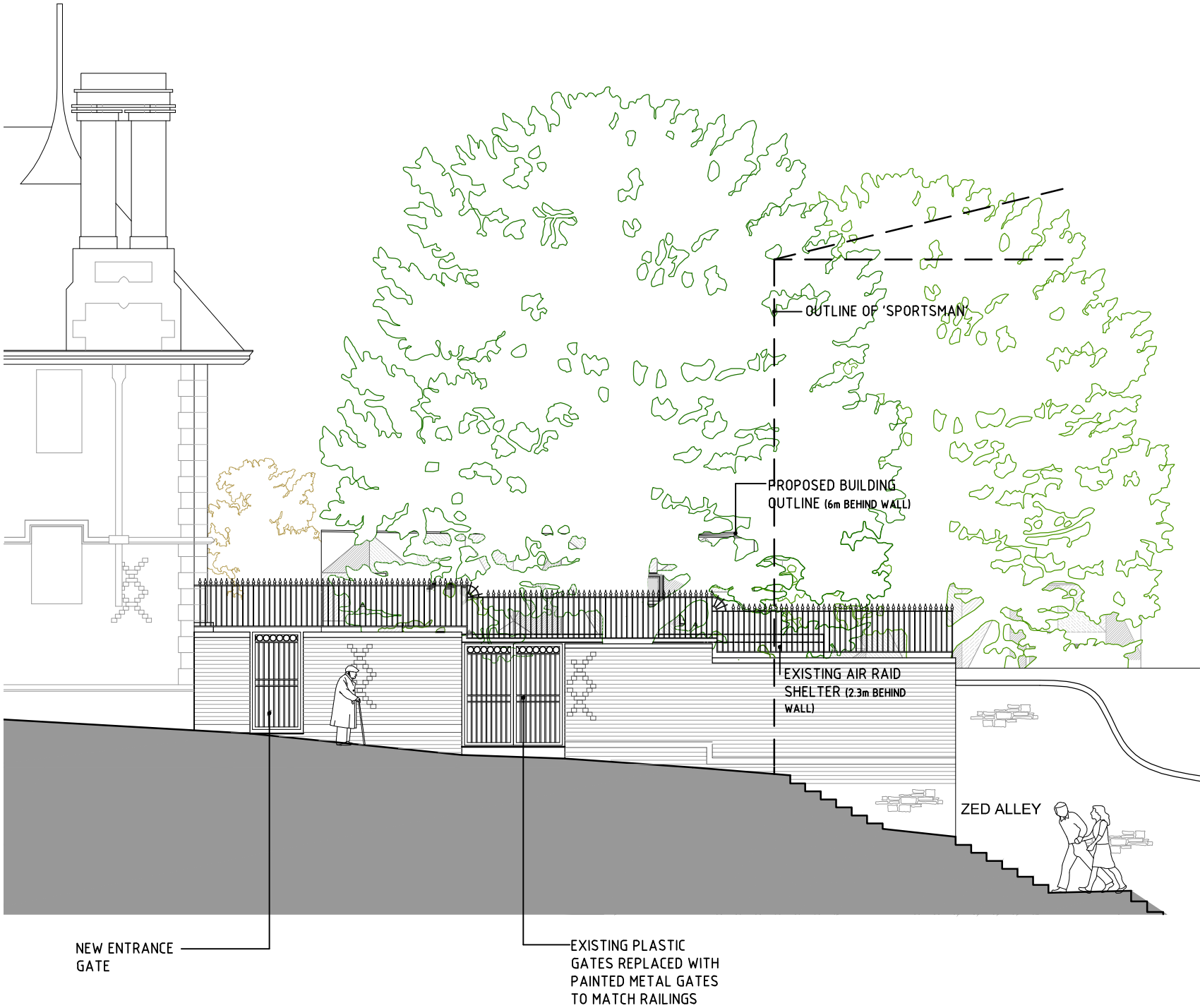
Date

14/01/16

Rev

G

Responsibility is not accepted for errors made by others scaling from this drawing. All construction information should be taken from figured dimensions only.



B	Outline of Sportsman added, detail added to neighbouring building, gate updated	10.10.16
A	Notes Added	02.03.16
REV	Note	Date





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Project	Colston Street
Drawing Title	PROPOSED WEST ELEVATION (Street View)
Drawing No.	1599(L)26

Scale @A3	drawn by	Date	Rev
1:100	TF	14/01/16	B



Facing towards the site from Colston Street



Facing southeast across the site



Facing west from the lower terrace



Facing towards rear of 5 Host St



Facing north west towards Foster's Almshouses

RESIDENTIAL MANAGEMENT PLAN

PROPOSED STUDENT ACCOMMODATION, COLSTON STREET

1. INTRODUCTION

This Management Plan (RMP) has been produced to set out how the proposed student accommodation at the Colston Street site will be managed and the amenity of local residents safeguarded. The requirement seeks to address issues arising from feedback from the local planning authority on planning application refs. 16/05680/F & 16/05681/LA. These applications propose:

'Alterations to boundary wall, new access, development of sui-generis residential units for students (2no. studio and 2no. 5-bed cluster flats), with associated refuse and cycle storage.'

2. THE RESIDENTIAL DEVELOPMENT

The site is located within the City Centre, and is located less than c.500m from the University of Bristol Precinct, shops along Lower Park Row and Colston Street, and is a short distance from the St Michael's Hill local centre. The high density context comprises a range of buildings containing a variety of shops, cafes, bars, restaurants and services occupying the ground floors of buildings, with either ancillary storage, commercial offices or residential accommodation on their upper floors. As such, the location has excellent links to local shops and services, as well as a variety of public transport bus routes.

The site sits behind a brick/stone boundary wall with railings atop that front the back edge of the pavement on Colston Street and the pedestrian route of Zed Alley. The site is looked down upon from windows on the northern side from flats within Three Kings Court development and from the south offices at the rear of no. 5 Host Street.

The Accommodation

The proposed development contains 4no. residential units with a total of 12 bed spaces, as per the following table

Level	Accommodation	Floorspace
One	2no. studios (Units 1 & 2)	Unit 1: 19.3sqm / Unit 2: 21sqm
Two	1no. 5-bed apartment (Unit 4)	Unit 4: 100sqm
Three	1no. 5-bed apartment (Unit 5)	Unit 5: 104sqm

Communal provision is also made for refuse storage (including a mini-recycling centre for recyclables) and secure / weather tight storage of bicycles within a former air raid shelter.

3. RESIDENTIAL MANAGEMENT

Management Company

The site is owned and will be managed by Rochford Property Investments, a residential landlord who manage residential accommodation within Bristol and who have a particular focus on the student market serving primarily University of Bristol students. Their office is based nearby in Kingsdown within another purpose built student residential block.

Their aim is to provide high quality, professionally managed accommodation that is well maintained and a desirable place to live. They also seek to ensure that by employing a 'good neighbour' policy the amenity of local residents is preserved and that a sense of community is encouraged. Their recent development has been a model for their approach and has proved to be successful.

Access and Security

Access to the property will be via a single point of entry from Colston Street, which will be secured with a keypad entry system. The accommodation will be arranged in two blocks, with the larger apartments in the western block and the studios in the lower, eastern block. All the communal entrances and stores will have secure doors and require key fobs or coded access to enable entry into the buildings.

Following amendments to the scheme design, there will be no access to the flat roof areas for the residents at any time. Access for general maintenance (leaf clearance etc) will be required from time to time.

Facilities Management

Rochford Property Investments has a Facilities Management Team who are dedicated to the daily housekeeping of their properties during normal working hours. A representative of the Facilities Management Team will be responsible for keeping the residential block in good order and carrying out routine maintenance. They will be available 24 hours/day, to deal with any issues that require their input and in case of emergencies.

The team will take ultimately responsibility for ensuring all health and safety standards and procedures are followed; the carrying out of maintenance and repairs; landlord and tenant agreements/relationship; student welfare; anti-social behavior, disciplinary procedures and compliance procedures.

Maintenance, Housekeeping, Refuse Management and Collection

The Facilities Management Team will be responsible for maintaining any external soft and hard landscaped areas.

Internally, they will also maintain fixtures and fittings within common parts and ensure they are kept clean and free from rubbish. Bedrooms and common areas will also be deep cleaned by a subcontractor annually.

The Management Team will also ensure that the refuse store is kept clean and tidy, and that refuse receptacles are available for collection on the appropriate days. Details of the refuse and recycling management arrangements will be posted on a communal notice board within the ground floor entrance at Level 2 of the larger Block, and within the 2no. Studios. Residents will be encouraged to minimize their waste and to recycle it where possible. This will ensure refuse management and recycling is promoted at source.

Development Control Committee A – 4 April 2018

ITEM NO. 3

WARD: Central **CONTACT OFFICER:** Andrew Cross

SITE ADDRESS: 6 All Saints Lane Bristol BS1 1JH

APPLICATION NO: 17/07108/F and 17/07109/LA **Full Planning**

DETERMINATION DEADLINE: 6 March 2018

Change of use to create a HMO (Sui Generis) for 8 occupants and associated works.

RECOMMENDATION: Grant subject to Condition(s)

AGENT: Your Design Bristol Ltd
605 Fishponds Road
Fishponds
Bristol
BS16 3AA

APPLICANT: Mr Fragapane

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH****BACKGROUND**

The current pair of applications under consideration have not been called in to committee, however the previous pair of applications were referred to planning committee by Councillor Paul Smith. These were refused at committee A. Given the previous involvement, it is considered that these applications should also be determined by committee A.

SITE DESCRIPTION AND APPLICATIONS

The application property is a four-storey Grade II Listed Building fronting All Saints Lane, set within the City and Queen Square Conservation Area. The property is surrounded by Listed Buildings, including the Grade I Exchange Building opposite, and the Grade II* Church of All Saints to the north. The site is accessible on foot only, from Corn Street, High Street and St Nicholas Street. The property is currently vacant, with last use being as a solicitor's office (use class A2).

The application proposes the change of use of the building to residential use, to form a House in Multiple Occupation (HMO) (sui-generis use class) comprising 8 bedrooms with associated communal living space. This would occur within the existing building envelope, with minor internal alterations proposed.

See plans and supporting documents for full details.

RELEVANT HISTORY

A parallel application for Listed Building Consent has been submitted (application 17/07109/LA) and is currently under consideration.

17/05307/F - Change of use from solicitors office (Use Class A2) to student accommodation (Use Class C3). REFUSED (committee overturn) for the following reasons:

The proposal fails to secure the optimum viable use for the property, with the use as a student accommodation failing to safeguard the features and significance of the Listed Building. Further, the loss of historic fabric; insertions into historic spaces and disruption to the historic plan form represent harm to the Listed Building, and hence fail to safeguard or enhance the designated heritage asset. The proposal is therefore contrary to policy BCS22 of the Bristol Local Plan, Core Strategy (2011); and policy DM31 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014); section 66 of the Planning (Listed Buildings & Conservation Areas) Act 1990 and national guidance set out in the National Planning Policy Framework.

The proposal would result in the loss of a purpose built office building, which would cause harm to the stock and variety of available employment floorspace within the city centre, and would introduce a use that removes an existing active ground floor frontage and would not contribute to the vitality or viability of this part of the City Centre. The proposal is therefore contrary to policy BCS7 of the Bristol Local Plan, Core Strategy (2011); and policy BCAP7 of the Bristol Local Plan, Central Area Plan (2015).

The proposal represents an over-intensive use of the building which results in poor quality living accommodation for future occupiers and inappropriate servicing provision, with awkward accessibility to the basement refuse/recycling and cycle storage provision; kitchen/dining facilities located in the basement without natural light or ventilation; and limited toilet/shower facilities which are not conveniently located. The proposal is therefore contrary to policies BCS20 and BCS21 of the Bristol Local Plan, Core Strategy (2011); and policies DM23 and DM30 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014).

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

17/05308/LA - Internal works in association with conversion to student accommodation. REFUSED (committee overturn) for the following reason:

The proposal fails to secure the optimum viable use for the property, with the use as a student accommodation failing to safeguard the features and significance of the Listed Building. Further, the loss of historic fabric; insertions into historic spaces and disruption to the historic plan form represent harm to the Listed Building, and hence fail to safeguard or enhance the designated heritage asset. The proposal is therefore contrary to policy BCS22 of the Bristol Local Plan, Core Strategy (2011); and policy DM31 of the Bristol Local Plan, Site Allocations and Development Management Policies (2014); section 66 of the Planning (Listed Buildings & Conservation Areas) Act 1990 and national guidance set out in the National Planning Policy Framework.

16/06699/F - Change of use from solicitors office (Use Class A2) to student accommodation (Use Class C3). WITHDRAWN.

16/06700/LA - Internal works in association with conversion to student accommodation. WITHDRAWN.

The above pair of applications were withdrawn following concerns raised relating to:

- o heritage impact (inappropriate alterations to interior of Listed Building)
- o residential amenity (noise from proposed air source heat pump)
- o servicing (refuse/recycling, cycle storage and move-in/move-out arrangements)

90/01165/L - Minor alterations and complete refurbishment. PERMISSION GRANTED.

RESPONSE TO PUBLICITY AND CONSULTATION

Public consultation was undertaken by way of press and site notices, along with individual letters sent to eleven surrounding properties. Two written responses were received:

Councillor Paul Smith has commented as follows:

I'm not sure how many times this application is going to come back. It has already been established at planning committee that this area has an over concentration of student accommodation and this is not an appropriate use of this listed building.

One written response was received from a neighbouring occupier, raising concerns that can be summarised as follows:

Principle (see key issue A)

- o There should not be any students in the old city

Highways and Servicing (see key issue B)

- o Lack of infrastructure in the Old City to support multiple dwellings
- o Lack of facilities for refuse/recycling collections

Residential Amenity (see key issue C)

- o Loss of privacy as building looks into neighbouring building
- o Noise
- o Security

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

Conservation (see key issue D)

- o Heritage impact

The Conservation Advisory Panel has commented as follows:

The Panel was not convinced that the issues raised in its two previous minutes relating to the change of use of this building had been adequately addressed, especially with regard to bin and bike storage.

Minute for 16/06700/LA, repeated for 17/05308/LA:

The Panel does not object to this application.

However, the Panel would like to make the point that this is a poor quality application that is not worthy of a listed building of this nature. The heritage assessment is of an extremely poor quality and the application demonstrates very little assessment or understanding of the historic value of this building. A much more detailed audit of this building must be undertaken, alongside the production of a Statement of Significance. It would appear that internally this building remains intact and is of great architectural and historic significance. As such any works to this building must be closely monitored.

The cycle storage and bin store are not situated in an easily accessible location. This element of the design should be reconsidered.

The City Council Conservation Officer has commented as follows:**Summary**

The proposed change of use is acceptable in principle; however the proposed floor plans and required alterations to existing wall and room fabric will have a negative impact on the special interest of this building, and the proposed use of a principle front room as a bikes store is unacceptable. The degree of harm posed by previous applications, since refused by committee on heritage grounds, has been increased and we are no longer satisfied that it is in the public benefit to approve the scheme with this additional negative impact on the special interest of the building. We object to the current proposals for the degree of harm posed to the asset.

The Heritage Assets

All Saints House is a significant work by the architect George Oatley. It is executed to an extremely high standard of design and material quality, and retains a high degree of original fabric and authenticity. The building was originally designed for its current office use, with individual office spaces in the traditional chambers arrangement.

The asset has high significance in its architect, Oatley, who was a prolific and skilled designer in a variety of styles. All Saints Court is an essay in well-proportioned Edwardian Baroque architecture, though incorporates some interesting pre-modernist ideas. The use of a glazed curtain wall to the inner courtyard and the early use of concrete slab floors cast into steel beams make this an interesting building for its evidential value. This aspect is further enhanced by the high quality materials and execution throughout the building, both internally and externally.

The choice of Ham stone from South Somerset is unusual for a building in Bristol, and may have been influenced by the architects work in the same year on the Western Gazette offices in Yeovil: a town characterised by this warm golden stone.

The building has retained its intended office use since it was built, with very few alterations. Some of the fireplaces have had panels boarded over, but are likely to retain the luscious green glazed tiles

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

behind. In other places new glazed partitions have been inserted for fire compartmentalisation, but the harm caused is not extensive and generally reversible.

Most rooms retain their original plaster cornice, chair rail, skirting, fire surrounds, window and door architraves, windows, and door leaves.

Proposals

The proposals seek to convert the building from office use to a house of multiple occupancy. The proposals seek to compartmentalise a number of the existing rooms with new partition walls. Further alterations will remove the existing walls between the office chambers on both the principal floors. There is no indication how servicing and soil waste pipes will be dropped through the building.

The basement area is proposed for use as bin and storage whilst the main spaces will form subterranean communal kitchen, dining, and shower rooms for the student flat.

The main change from the previous application, is that the principle front room in the south-west corner of the ground floor is proposed to be utilised for cycle storage.

Recommendations

The existing interiors represent a well preserved and high quality suite of spaces, all conserved in good condition, and with numerous original fixtures and fittings. The NPPF requires the Local Authority to put great weight in the conservation of these spaces as being key elements of the special interest.

The proposals seek to alter existing layout, demolishing some internal walls, and inserting new partitions within a number of the original rooms. The degree of compartmentalisation and loss of fabric is of extreme concern, and poses harm to the special interest of the building through the loss of integrity of the original planform, room spaces, and original features.

Our most significant concern is reserved for the use of one of the principal rooms on the ground floor as cycle storage. The former office space was designed and finished to a high standard, and whilst there has been an opening introduced into the neighbouring room the room continues to enjoy a prominent location overlooking All Saints Lane. We consider that the proposed use is incongruous, and out of keeping with the significance of this space.

We therefore have objections to the degree of harm posed by the intended compartmentalisation of this building internally, and the proposed use of a principal room for servicing the building; we consider it to be intensive, and to respond poorly to the historic fabric. The degree of harm posed is not-substantial, but of a moderate degree. The degree of public benefit of providing a multiple occupancy home is unclear.

Bristol Waste Company has commented as follows:

Following a review of the documentation for the development at 6 All Saints Lane, Bristol Waste has considered the waste and recycling provision for this development. For an 8 bed HMO, we would recommend that the following waste and recycling provision is allowed for:

- o 3 x 180 litre refuse bins
- o 3 x green recycling boxes
- o 3 x black recycling boxes
- o 3 x food waste caddies

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

If collections are being carried out by BWC, the property would be on a standard kerbside collection service with recycling collected weekly and refuse collected every other week. All containers should be presented at the kerbside on the relevant collection day.

The Management Plan states that refuse and recycling will be dealt with by a private contractor. If a private waste collection service is in place we will not provide the containers. The contractors will need to be in possession of a valid waste carriers license and will need to pay (by weight) to dispose of the waste. If using BWC facilities this would need to be taken to our Avonmouth HWRC site as our St Philips site is open to residents only. Waste being removed by paid contractors will be classified as commercial waste and therefore can no longer be disposed of via normal household waste facilities. It is also mentioned in the Management Plan that a similar arrangement is in place at the landlord's other properties. We would like to point out that the above mentioned restrictions and requirement will also apply at those properties.

We would urge at this stage of the planning process that the developers refer to the Planning Guidance for Waste and Recycling produced by Bristol Waste Company. When considering the layout, access and the design of the bins stores, this guide contains a wealth of information regarding the bin volumes, requirements etc. <http://www.bristolwastecompany.co.uk/resources/>

The City Council Highways Officer has commented as follows:**Principle / Property History**

The application proposal seeks approval for the change of use to create a HMO (Sui Generis) for 8 occupants and associated works. The site has been subject to a previous application (17/05307/F) in which TDM raised concerns regarding the waste and cycle provision.

Travel Information Pack

A Travel Information Pack must be produced and issued to all students. This should include information on public transport including (First Bus, Wessex, National Express, Falcon, Megabus and National Rail Enquiries) and information on cycle shops/repairs, local taxi companies and supermarket deliveries. The pack should promote: www.travelwest.info, bus checker app www.travelwest.info/apps and www.betterbybike.info Cycle maps can be obtained from www.betterbybike.info/maps/cycle-maps

Traffic Management

The Management Plan submitted proposes that students would have a two hour slot spread over Saturday and Sunday during which they can move in, with a shorter slot for moving out. Whilst in principal this is acceptable no clear location has been identified where this would take place. As per previous TDM comments 'the most sensible location would be to utilise the on-street pay and display parking on St Nicholas Street. To ensure there is space available at least one bay must be reserved and evidence provided as part of a revised Management Plan'. This has now been provided within the management plan which is deemed to be acceptable.

Car Parking & Cycle Parking

The application does not propose to provide any car parking which given the highly sustainable location of the site is acceptable. In respect of cycles the site plan submitted proposes to provide an internal store on the ground floor and two external Sheffield Stands. Whilst the Sheffield Stands are acceptable a Section 171 Licence would be required to install them.

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH****Waste**

The site plan proposes a store within the basement. This is unacceptable as operatives would be required to carry waste up and down the stairs. Due to its location below ground the store must be independently ventilated. It is noted on plans the waste storage will be mechanically ventilated however no further information has been given regarding this. As the waste will be collected privately this must be privately disposed of, not taken to the local recycling centre.

TDM raises concerns regarding the excessive number of times per week waste will be collected. This either demonstrates a lack of quantum is provided or too much waste will be generated. The number of collection days must be reduced.

Construction Management

Given the restrictions on the existing highway network the applicant should be required to produce and submit a construction management plan in writing for approval to the Local Planning Authority, before work commences. This would need to be adhered to throughout the construction period and should set out details regarding:

- o Parking of vehicles of site operatives and visitors.
- o Routes for construction traffic.
- o Hours of operation.
- o Method of preventing mud being carried onto the highway.
- o Pedestrian and cyclist protection.
- o Proposed temporary traffic arrangements including hoardings and/or footway closures.
- o Arrangements for turning vehicles.
- o Arrangements to receive abnormal loads or unusually large vehicles.
- o Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses.

Recommendations

TDM have evaluated the proposed development and have come to the conclusion that further revised plans are required before a final recommendation can be made.

RELEVANT POLICIES

City and Queen Square Conservation Area Character Appraisal

Planning (Listed Buildings & Conservation Areas) Act 1990

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH****KEY ISSUES****(A) PRINCIPLE OF CHANGE OF USE**

Policy BCS2 of the Core Strategy 2011 refers to the City Centre and specifies that Bristol City Centre's role as a regional focus will be promoted and strengthened. Development will include mixed uses for offices, residential, retail, leisure, tourism, entertainment and arts and cultural facilities. Policy BCS8 relates to employment floorspace and expresses that outside designated Principal Industrial and Warehousing Areas (PIWA) employment land will be retained where it makes a valuable contribution to the economy and employment opportunities.

Policy BCS18 of the Core Strategy states that all new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities. Policy DM2 includes consideration of shared and specialist housing and expresses that houses in multiple occupation and specialist student housing schemes will be acceptable within the city centre, although expresses that they will not be permitted where the development would harm residential amenity or character of the area through noise and disturbance from levels of activity; levels of on-street parking that cannot be reasonably accommodated, or regulated through parking control measures; detrimental impact of physical alterations to buildings; or inadequate storage for refuse/recycling and cycles. Policy BCAP4 of the Bristol Local Plan Bristol Central Area Plan refers to student housing and specifies that specialist student housing schemes that contribute to the diversity of uses within the local area will be acceptable within Bristol City Centre unless it would create or contribute to a harmful concentration of specialist student housing within any given area.

The application property is not set within a designated frontage, and is located in a position that has a significantly lower footfall than the surrounding busy commercial streets. The last use as a solicitors office falls within the A2 use class rather than as a B1(a) office. The application incorporates marketing information in support of the loss of this A2 use.

The application property has been actively marketed, with the marketing agents expressing that at the 15th December 19 months of marketing had been undertaken. Marketing is ongoing and the premises can be found online available to rent. Within the submitted marketing statement it has been expressed that there has been very limited interest in a commercial use for the premises, with those viewing deciding not to take on the premises due to constraints relating to access and building layout.

It is acknowledged that since the previous refusal, which was in part on the grounds of loss this purpose built office space, at the time of planning committee a further additional 4 months of active marketing has been undertaken, which has been unsuccessful in securing a tenant under the existing use of the building.

On the basis of the information provided, and in recognition of the mixed use character of the area along with the fact the site is not located within a designated frontage, it is considered acceptable that alternative uses are considered for the site.

The application site is set within a mixed use area, incorporating commercial and residential accommodation, including student accommodation. It should be noted that the proposed sui-generis use HMO would be a shared residential use, and the nature of this use is such that the building could be occupied by professionals, and could be occupied by students. Whilst it is acknowledged that there has been an increase in student accommodation within the city centre within recent years, there is not considered to be an over-concentration of such uses within the immediate vicinity of the application site, and indeed the previous proposal for student accommodation within the building was not refused on that basis. Further, the principle of student accommodation within the city centre is supported by current local planning policy.

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

Overall therefore, the proposed change of use of the building to an 8-bedroom HMO is considered to be acceptable in principle. Other related issues of servicing, residential amenity, heritage and sustainability will be discussed further within the key issues to follow.

(B) HIGHWAYS AND SERVICING

Policy BCS10 expresses that development should be located where sustainable travel patterns can be achieved and sets out transport user priorities with sustainable means being primary considerations. Policy DM23 requires adequate access to sustainable transport means and requires adequate provision in relation to servicing.

The application site is set in a sustainable location, within the city centre, close to a wide variety of shops, services and public transport links. The location is such that there is no objection in relation to no off-street parking provision for the shared residential accommodation proposed.

Site constraints are such that there is very limited space for external cycle storage. Four short-term cycle storage spaces are proposed to the front of the property, within the site boundary, whilst the principle cycle store would be provided internally at ground floor level. The provision of internal cycle storage at ground floor level (rather than at basement level as previously proposed) is in response to previous concerns in relation to awkward servicing, which in part led to the refusal of the previous proposal by members at planning committee.

The internal cycle store would be covered, secure and conveniently located, and is considered a reasonable solution given that there is virtually no external space attributed to the property. The proposed external store provides some quickly accessible cycle parking for shorter-term use. On balance therefore the cycle storage arrangement is considered acceptable. The City Council Highway Officer has not objected to this arrangement.

The site is not located on a road frontage, with pedestrian access only. A package of information has been prepared in relation to servicing of the property, in recognition of this.

Refuse and recycling would be collected from the internal store by a private contractor, and emptied into a collection vehicle parked on St Nicholas Street or Broad Street, in accordance with the submitted management strategy. This would avoid the need for residents to move refuse and recycling receptacles to a collection point, and would prevent receptacles being left out on one of the surrounding highways, causing an obstruction. The Highways Development Management Officer has raised concern in relation to the proposed number of collections, considering three collections per week to be excessive. The planning agent has subsequently been approached in this regard and has expressed that the number of collections proposed was in response to earlier comments from highways officers, however the number of collections can be reduced if preferable. This could reasonably be secured by condition if members deem necessary. There is adequate capacity within the refuse/recycling store proposed to enable less frequent collections if preferred.

A move-in/move-out strategy is also incorporated into the proposal, in the event that the HMO is occupied by students, with allocated time slots for moving in/out in order to avoid obstruction of surrounding highway(s) on moving days. Travel packs are also to be issued to residents, providing information on transport and access matters.

On the basis of the above, and given the imposition of relevant planning conditions, the proposal is considered acceptable in relation to highways and servicing matters.

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Policy BCS18 requires residential development to provide sufficient space for everyday activities and enable flexibility and adaptability by meeting appropriate space standards. Policy BCS21 expects development to create a high quality environment for future occupiers. Policy DM2 requires development to provide a good standard of accommodation by meeting relevant requirements and standards. Policy DM30 expects alterations to existing buildings to safeguard the amenity of the host premises and neighbouring occupiers.

Noise concerns raised under an earlier scheme have been overcome through the removal of the air-source heat pump from the scheme. While some noise may be generated by future residents, it is considered that refusal of residential accommodation in this busy city centre environment of mixed uses is not justified on these grounds.

A neighbouring resident raised concern of the proposed residential conversion resulting in overlooking of the adjoining building, which comprises residential flats. The internal light well at the application property is also shared with the neighbouring property, with the neighbouring property having windows within the eastern side of the light well, whilst the windows to the other three sides serve the application property. The eastern western side of the light well is fully glazed and serves the staircases and landings at 6 All Saints Lane. The northern and southern sides of the light well contain a total of five windows, currently serving office space, which are proposed as bedroom windows. Two of these would be the sole windows serving bedrooms, while the other three would serve bedrooms that also benefit from additional windows. To the eastern side of a light well are a number of windows serving the neighbouring residential building, and while the use of these windows is not certain, it is considered unlikely that these windows would be principle windows serving main living areas at the neighbouring flats. It should be noted that no additional windows are proposed, and that the existing interrelationship of windows within this historic light well is an established and historic arrangement that would not be altered by the change of use proposed.

With the exception of three internal partition additions, the proposal works with the existing plan form of the building and in doing so achieves good room sizes. Communal living space is located across three floors, with the kitchen, dining and shower rooms at basement level; a ground floor living room; and a first floor reading room. Overall therefore, the proposal is considered to achieve a good standard of accommodation for future occupiers.

Security was raised as a concern within the objection comment received. It is considered that securing the occupation of the building would have a positive effect in terms of security, through the re-introduction of activity associated with the building and natural surveillance by virtue of the occupation of the building.

On the basis of the above it is concluded that the proposal is acceptable in residential amenity terms.

(D) HERITAGE

Policies BSC22 and DM31 relate to heritage assets (including Listed Buildings and Conservation Areas) and seek to preserve or enhance heritage assets. The NPPF defines 'conservation' as 'the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance'. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 express the need for special regard to be given to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, while section 72(1) requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

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The application property is a well preserved example of an historic office building. The proposal works with the existing plan form, with limited disruption to historic fabric and plan form. A separating lobby is proposed to the ground floor to facilitate separate access to a communal living room and one of the bedrooms proposed, which would not disrupt the existing ceiling layout (see plans for details). This replicates an existing similar arrangement at first floor level. A similar partition is proposed between the ground floor cycle store and a bedroom, and a separating partition at basement level to facilitate the provision of multiple shower rooms.

A small loss of historic fabric would occur at basement level to adjoin kitchen and dining areas, which is considered reasonable given the benefit of securing the ongoing viable use of the building. An existing interconnecting door would be stopped up using studwork, however the door and features should be retained to enable reversal in the future.

The layout proposed, and nature of new openings and partitions, is as a direct result of consultation and liaison with the City Council Conservation Officer. While the function of some spaces has changed since the previous submission, the physical layout of rooms proposed is identical. Under the previous application the Conservation Officer commented: "I assess that there is a low degree of not-substantial harm to the Listed building through the formation of new openings through existing fabric, and the subdivision of some spaces. Public benefit might be demonstrated through the re-use of the building though this needs to be justified. Other environmental enhancements may also be considered where they are proposed, but these need to be secured as part of the planning conditions. Broadly we have no grounds to object to the proposals. We require a large amount of additional detail to ensure that the proposals are carried out with minimal harm to the building"

Under the current proposal the Conservation Officer has raised concern in relation the use of a principle ground floor front room as a cycle store, which is considered to tip the balance in terms of harm, and has led to amended comments stating: "The proposed change of use is acceptable in principle; however the proposed floor plans and required alterations to existing wall and room fabric will have a negative impact on the special interest of this building, and the proposed use of a principle front room as a bikes store is unacceptable. The degree of harm posed by previous applications, since refused by committee on heritage grounds, has been increased and we are no longer satisfied that it is in the public benefit to approve the scheme with this additional negative impact on the special interest of the building. We object to the current proposals for the degree of harm posed to the asset." (Full comments are provided above).

It should be noted that at present the ground floor front room could be used as cycle storage without the need for any consent. That said, if members do feel that the use of this room is unacceptably harmful, then it is suggested that the rear ground floor room is instead used for cycle storage as this room is of less significance in terms of room hierarchy. This would however result in the cycle storage being less conveniently positioned for future residents. Whilst this could have been amended during the course of the application, the case officer considers that the current arrangement represents an appropriate balance between accessibility, servicing requirements, and heritage considerations. The arrangement could easily be amended by condition however if members see fit.

On balance it is considered that the proposal is acceptable in heritage terms, with identifiable benefits of bringing the premises back in to use. Conditions are recommended, principally in relation to detailed information to ensure that any physical alterations safeguard the listed building. As such the character and appearance of the host building is safeguarded, as is the setting of surrounding Listed Buildings and the character of the Conservation Area. The proposal is therefore considered acceptable on heritage grounds and it is recommended that Listed Building Consent be approved.

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Current planning policy (BCS13-16) within the adopted Bristol Local Plan, Core Strategy (2011) requires new development to be designed to mitigate and adapt to climate change and meet targets to reduce carbon dioxide emissions. This should be achieved, amongst other measures, through efficient building design, the provision of on-site renewable energy generation to reduce carbon dioxide emissions by at least 20% based on the projected residual energy demand of new buildings and extensions to existing buildings, and for new development to mitigate against the risk of flooding. The approach proposed should also be supported by the provision of a sustainability statement and an energy strategy.

It has been demonstrated that the use of solar PV panels is not a feasible option due to shading of the panels, and concern is also raised in relation to harm to the Listed Building, Setting of surrounding Listed Buildings and character of the Conservation Area through the use of PV panels in this instance.

Due to the unsuitability of solar PV's, the use of an air source heat pump was proposed under a previous application. This however gave rise to serious concern in residential amenity terms when considering noise impact upon neighbouring occupiers and future occupiers of the site, which could not reasonably be overcome due to site constraints.

The current proposal therefore does not incorporate any provision for on-site renewable energy generation, with a statement submitted as part of the application to justify this approach. Given the constraints of the site coupled with the sensitivity of the site and its context, it is accepted in this instance that on-site renewable energy generation cannot reasonably be accommodated on site.

The proposal works within the existing building envelope and would not increase flood risk.

On the basis of the above, and when considering the balance of various issues, the proposal is considered acceptable in relation to sustainability and flood risk.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

How much Community Infrastructure Levy (CIL) will this development be required to pay?

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

Development Control Committee A – 4 April 2018

Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH

A) APPLICATION No. 17/07108/F

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)

2. Building Recording

Prior to work commencing a Building Record to Level II of Historic England's Historic Buildings: A Guide to Good recording Practice shall be undertaken, submitted to the Local Authority and approved in writing. This shall be carried out by an accredited professional approved by the Local Authority.

Reason: To ensure the appropriate recording of the Listed Building

3. Construction Management Plan

No development shall take place including any works of demolition until a construction management plan or construction method statement has been submitted to and been approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period. The statement shall provide for:

Parking of vehicles of site operatives and visitors
arrangements for deliveries to the site
hours of operation
pedestrian and cyclist protection
proposed temporary traffic restrictions

Reason: In the interests of safe operation of the highway

4. Large Scale Details

Prior to the relevant element being commenced the following shall be submitted to the Local Planning Authority and approved in writing:

1. Section details to 1:5 and elevation details at 1:10 of all proposed new joinery showing all proposed mouldings, materials, and showing all new material connections at floor, wall and ceiling level

2. Section details to 1:5 of all proposed infilled doors showing how the existing door leaf, frame and architraves will be preserved, all new, materials and fabrication, and showing all new material connections at floor, jamb and head.

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3. Section details at 1:5 of the proposed new protection screens to the stair balustrades including all proposed new fixings.
4. Section details to 1:5 of all proposed new partitions, solid and glazed, showing all new, materials and fabrication, and showing all new material connections at floor, ceiling and walls.
5. Elevation and section details of all proposed new internal doors at a scale of 1:10 and 1:5 respectively and showing all proposed mouldings and architraves.
6. Structural interventions above new openings at a scale of 1:10

The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: To safeguard the Listed Building and its features.

5. Building Services

Prior to the commencement of the element detailed plans and sections to a suitable scale showing all new building services shall be supplied to the Local Planning Authority and approved in writing. These shall show all proposed drainage, ventilation, gas, fire protection, and power runs, and all locations of proposed external flues or vents. This shall include full details of ventilation to the refuse/recycling store. The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: In the interests of amenity and to safeguard the Listed Building and its features.

Pre occupation condition(s)

6. Internal features

All existing internal decoration features, including plaster work, ironwork, fireplaces, doors, windows, staircases, staircase balustrade and other woodwork, shall remain undisturbed in their existing position, and shall be fully protected during the course of works on site unless expressly specified in the approved drawings.

Reason: In order that the special architectural and historic interest of this Listed Building is safeguarded.

7. Partitions - Listed Building

All new partitions shall be scribed around the existing ornamental plaster mouldings.

Reason: To ensure that the character, appearance and integrity of the building is not prejudiced, thereby preserving its special architectural or historic interest.

8. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s)

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

9. Completion and Maintenance of Cycle Provision - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the cycle parking provision shown on the approved plans has been completed, and thereafter, be kept free of obstruction and available for the parking of cycles only.

Reason: To ensure the provision and availability of adequate cycle parking.

10. Communal Living Space

The communal living rooms shall be provided in accordance with the approved plans prior to the first occupation of the house in multiple occupation hereby approved, and retained and maintained as such thereafter.

Reason: To ensure the provision of good quality communal living space.

Post occupation management

11. Property Management

The development shall be carried out in full accordance with the approved Management Plan throughout the lifetime of the development hereby approved.

Reason: In the interests of amenity and highway safety.

12. Use of Refuse and recycling facilities

Activities relating to the collection of refuse and recyclables and the tipping of empty bottles into external receptacles shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

Reason: To safeguard the amenities of nearby occupiers

List of approved plans

13. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Existing elevations, site location plan and site plan, received 9 January 2018

Existing floor plans and roof plan, received 9 January 2018

Proposed elevations, received 9 January 2018

Proposed floor plans and roof plan, received 9 January 2018

Proposed sections, roof plan and floor plans, received 9 January 2018

Energy justification, received 9 January 2018

Management plan, received 9 January 2018

Development Control Committee A – 4 April 2018**Application No. 17/07108/F and 17/07109/LA: 6 All Saints Lane Bristol BS1 1JH**

Marketing report part 1, received 9 January 2018

Marketing report part 2, received 9 January 2018

Support Planning Statement, received 9 January 2018

Reason: For the avoidance of doubt.

B) APPLICATION No. 17/07109/LA**RECOMMENDED GRANT subject to condition(s)****Time limit for commencement of development**

1. Listed Building Consent or Conservation Area Consent

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

Pre commencement condition(s)

2. Building Recording

Prior to work commencing a Building Record to Level II of Historic England's Historic Buildings: A Guide to Good recording Practice shall be undertaken, submitted to the Local Authority and approved in writing. This shall be carried out by an accredited professional approved by the Local Authority.

Reason: To ensure the appropriate recording of the Listed Building

3. Large Scale Details

Prior to the relevant element being commenced the following shall be submitted to the Local Planning Authority and approved in writing:

1. Section details to 1:5 and elevation details at 1:10 of all proposed new joinery showing all proposed mouldings, materials, and showing all new material connections at floor, wall and ceiling level
2. Section details to 1:5 of all proposed infilled doors showing how the existing door leaf, frame and architraves will be preserved, all new, materials and fabrication, and showing all new material connections at floor, jamb and head.
3. Section details at 1:5 of the proposed new protection screens to the stair balustrades including all proposed new fixings.
4. Section details to 1:5 of all proposed new partitions, solid and glazed, showing all new, materials and fabrication, and showing all new material connections at floor, ceiling and walls.
5. Elevation and section details of all proposed new internal doors at a scale of 1:10 and 1:5 respectively and showing all proposed mouldings and architraves.
6. Structural interventions above new openings at a scale of 1:10

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The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: To safeguard the Listed Building and its features.

4. Building Services

Prior to the commencement of the element detailed plans and sections to a suitable scale showing all new building services shall be supplied to the Local Planning Authority and approved in writing. These shall show all proposed drainage, ventilation, gas, fire protection, and power runs, and all locations of proposed external flues or vents. This shall include full details of ventilation to the refuse/recycling store. The development shall then be carried out in accordance with the details approved prior to the commencement of the change of use and retained and maintained as such thereafter.

Reason: In the interests of amenity and to safeguard the Listed Building and its features.

Pre occupation condition(s)

5. Internal features

All existing internal decoration features, including plaster work, ironwork, fireplaces, doors, windows, staircases, staircase balustrade and other woodwork, shall remain undisturbed in their existing position, and shall be fully protected during the course of works on site unless expressly specified in the approved drawings.

Reason: In order that the special architectural and historic interest of this Listed Building is safeguarded.

6. Partitions - Listed Building

All new partitions shall be scribed around the existing ornamental plaster mouldings.

Reason: To ensure that the character, appearance and integrity of the building is not prejudiced, thereby preserving its special architectural or historic interest.

List of approved plans

7. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Existing elevations, site plan and site location, received 9 January 2018

Existing floor plans and roof plan, received 9 January 2018

Proposed elevations, received 9 January 2018

Proposed floor plans, roof plan and section, received 9 January 2018

Proposed floor plans, roof plan and section, received 9 January 2018

Proposed floor plans and roof plan, received 9 January 2018

Heritage Statement, received 9 January 2018

Reason: For the avoidance of doubt.

Supporting Documents

1. 6 All Saints Lane

1. Site location and existing elevations
2. Proposed floor and roof plans
3. Proposed elevations
4. Heritage Statement
5. Management Plan



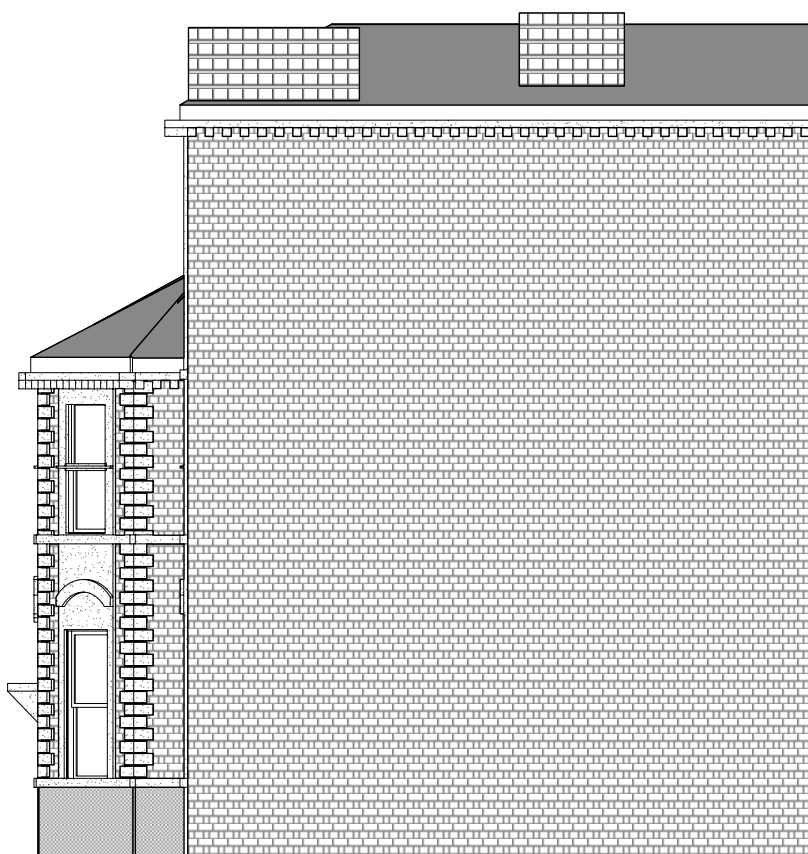
Front Elevation @ 1:100



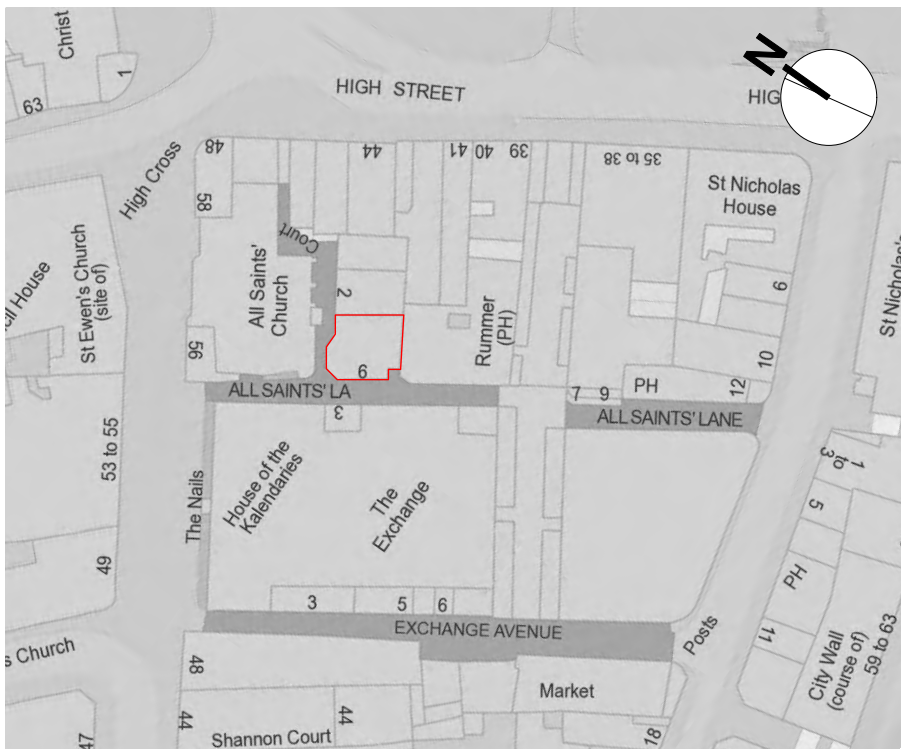
Side Elevation @ 1:100



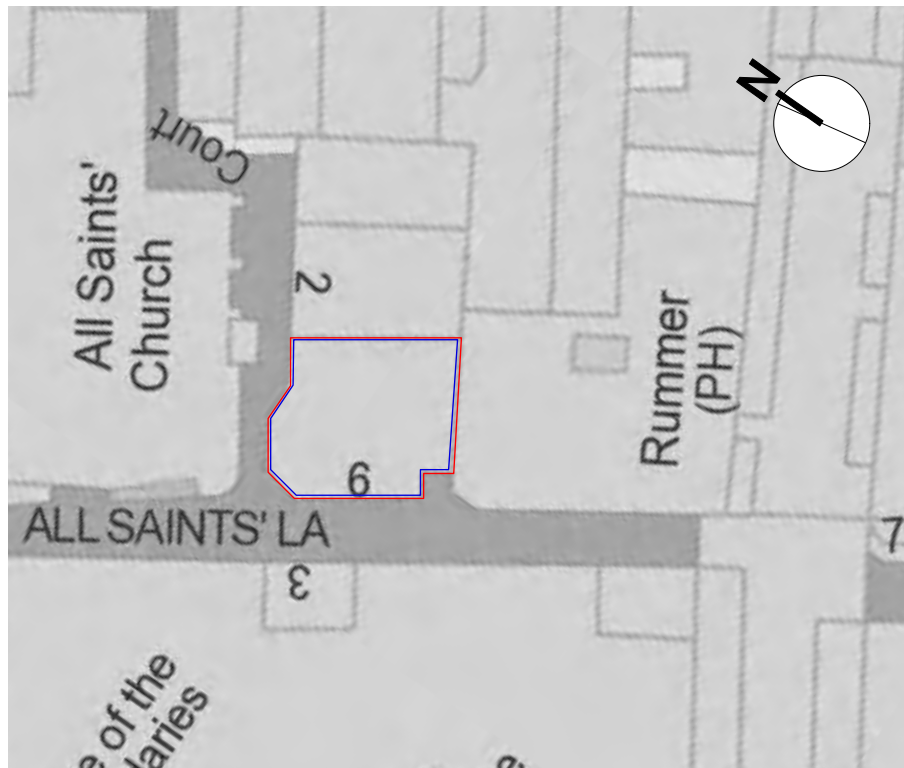
Rear Elevation @ 1:100



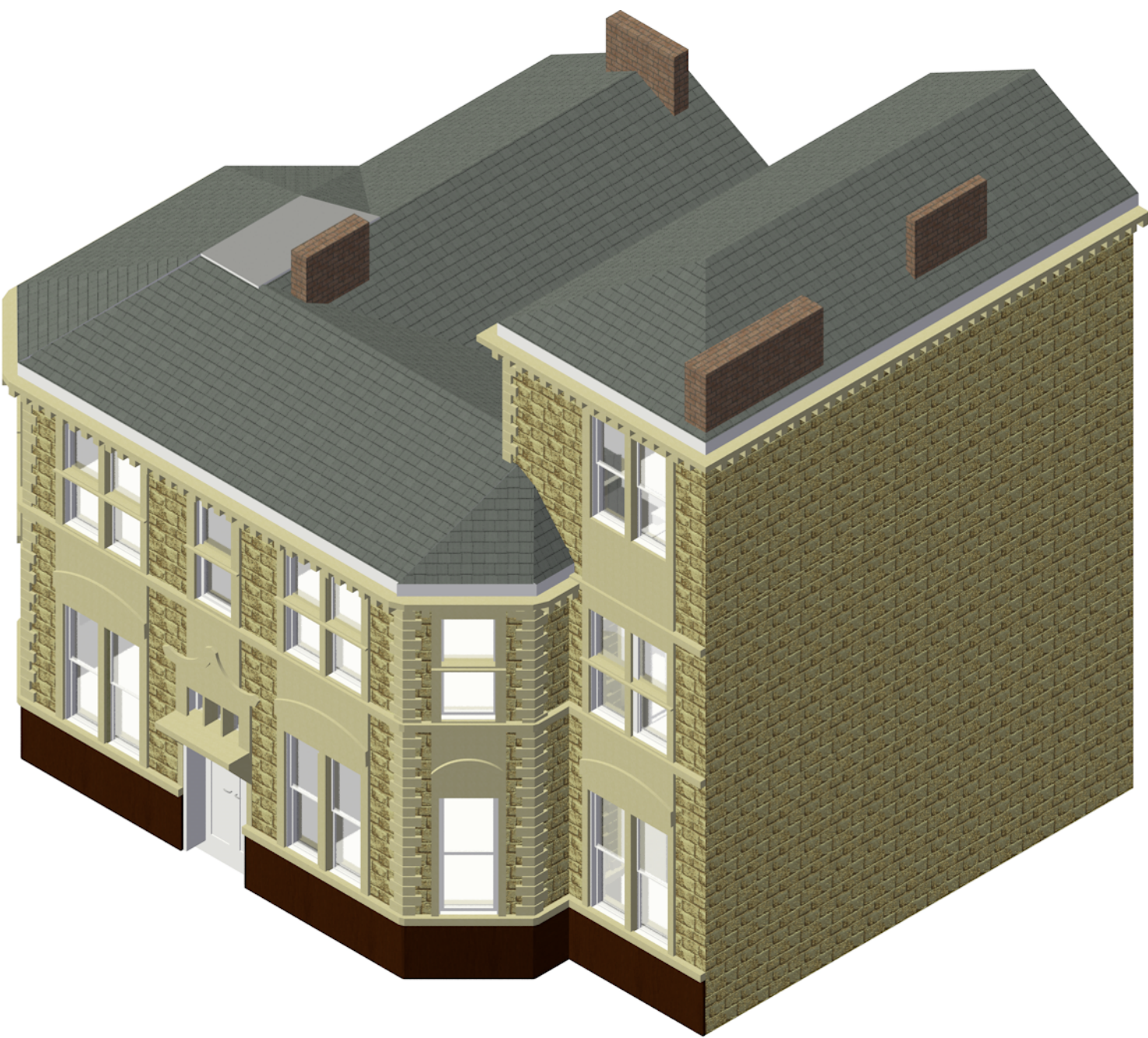
Side Elevation @ 1:100



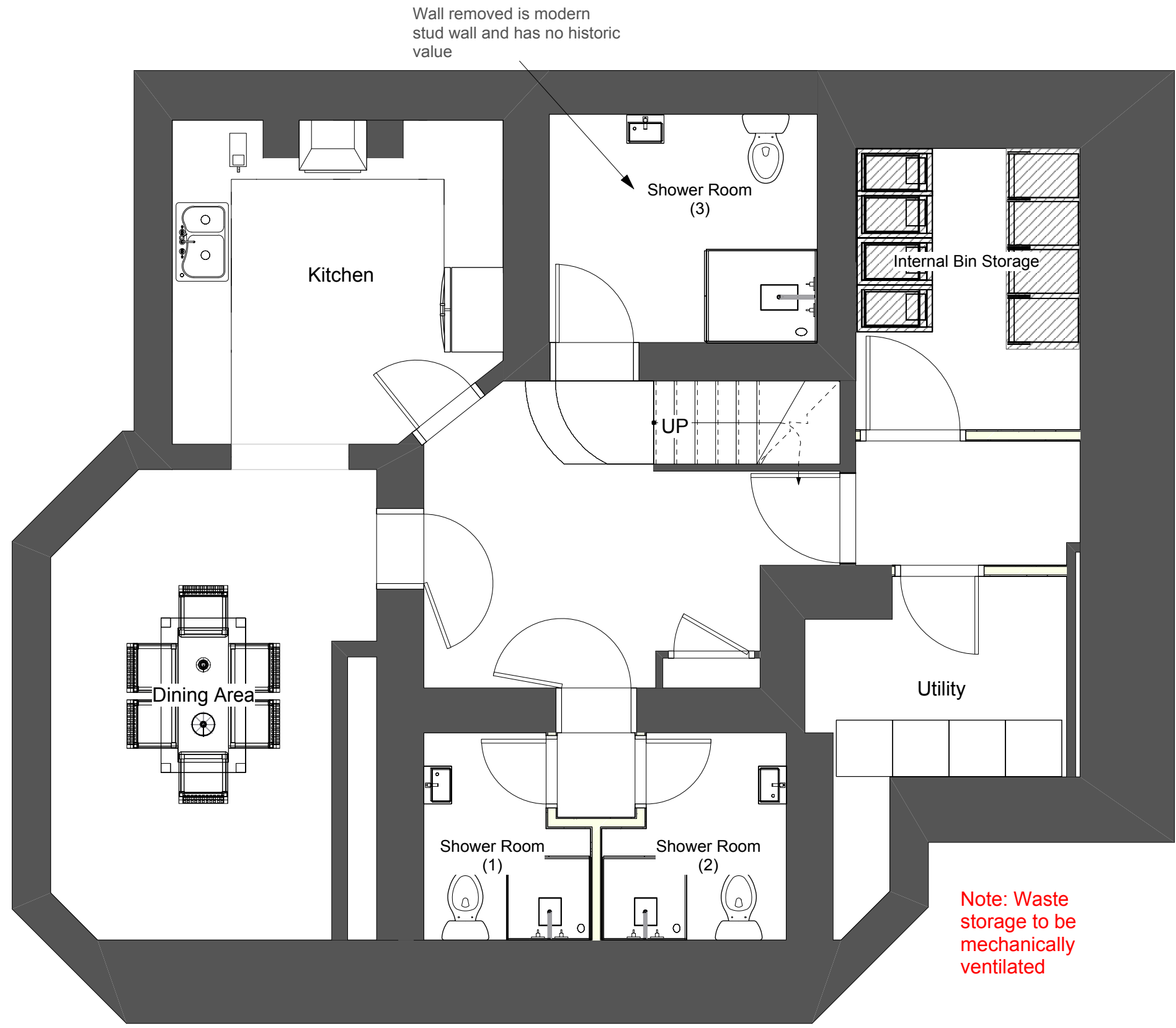
Site Location Plan @ 1:1250



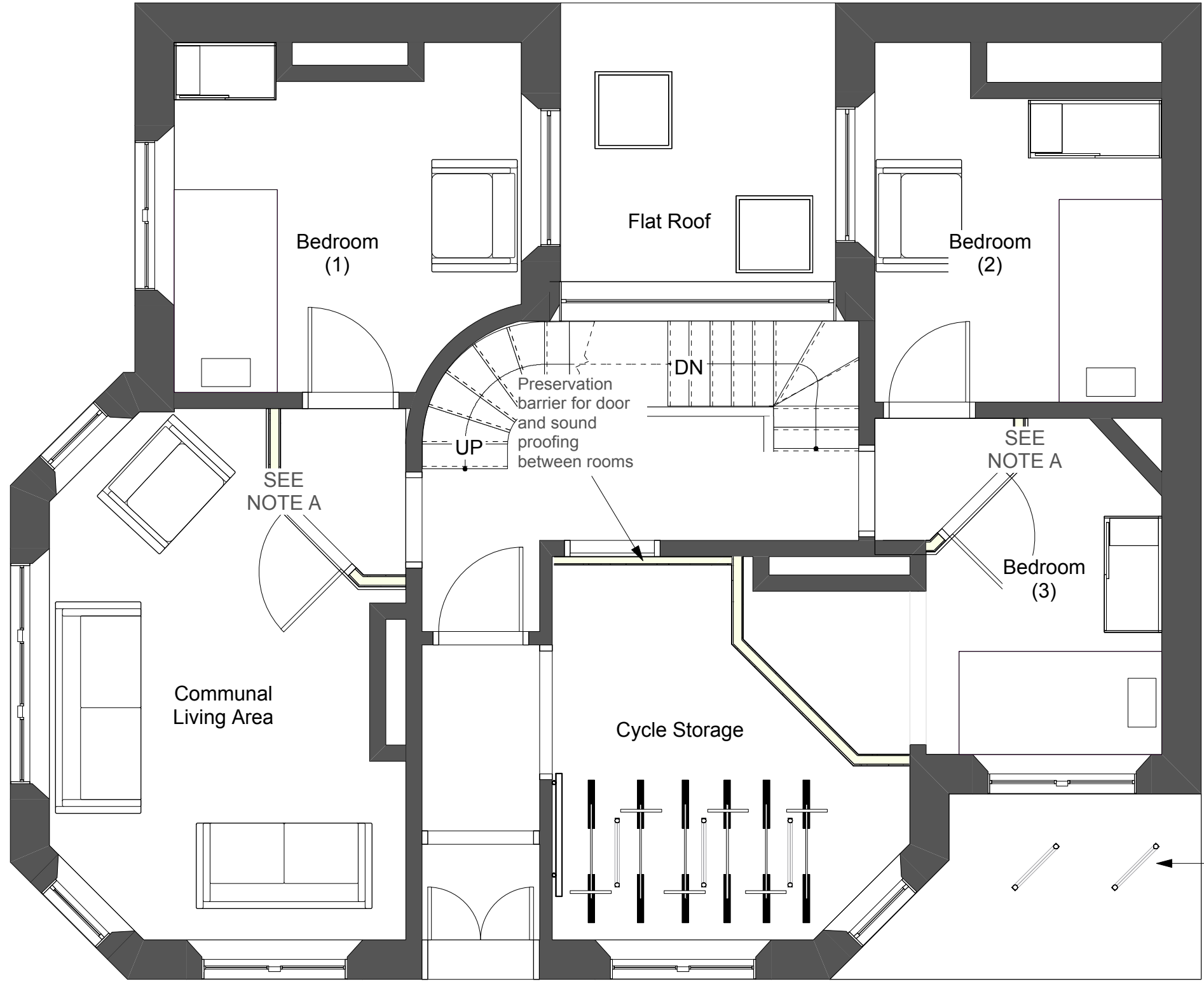
Site Plan @ 1:500



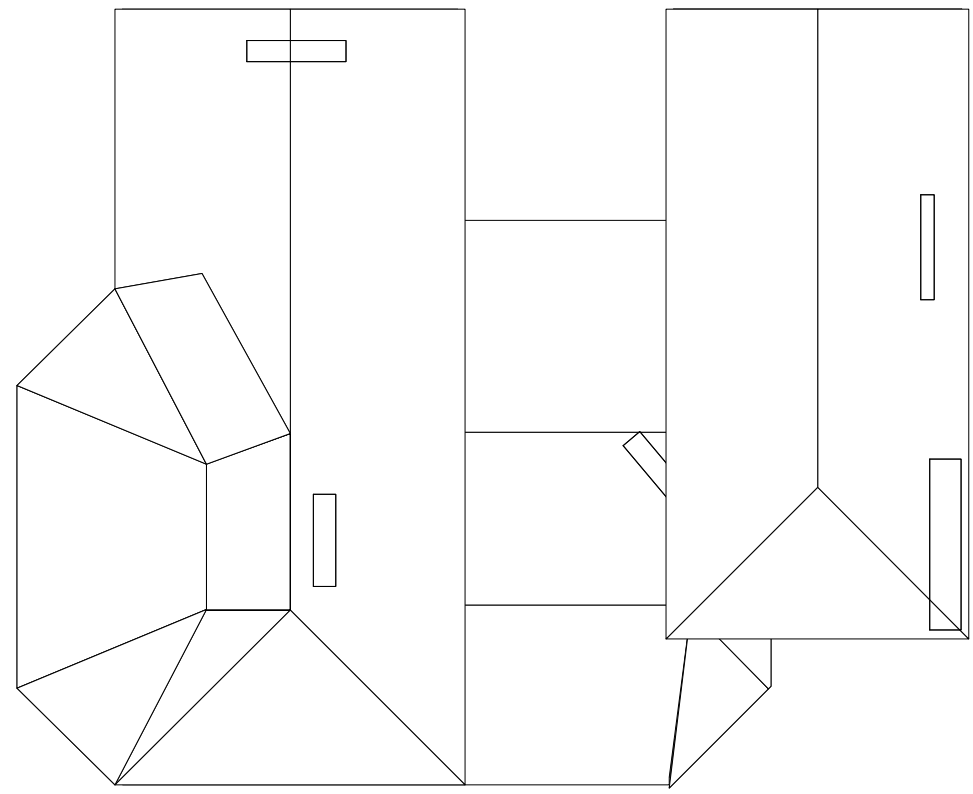
<div><div><div>Your Design Bristol</div><div>Architecture - Design - Visualisation</div><div>Your Design Bristol, 605 Fishponds Road, Fishponds, Bristol, BS16 3AA www.yourdesignbristol.co.uk - 0117 3292727 © Your Design Bristol Ltd. All Rights Reserved</div></div></div>	<div>Client: Mr S Fragapane</div>	<div>Drawing: Existing Plans Page 2</div>	<div>Project Description:</div>	<div>Revisions:</div> <div>A</div> <div>B</div> <div>C</div> <div>D</div> <div>E</div>	<div>NB</div> <div>Author Retains Copyright.</div> <div>Responsibility is not accepted for errors made by others in scaling from this drawing.</div> <div>All dimensions, levels and angles to be checked on site by the contractor.</div> <div>All boundaries are assumed and we accept no liability for boundary inaccuracy.</div> <div>You are reminded of your responsibilities under the 'Party Wall etc. Act' 1996 where applicable.</div>
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Lower Ground Floor Plan @ 1:50

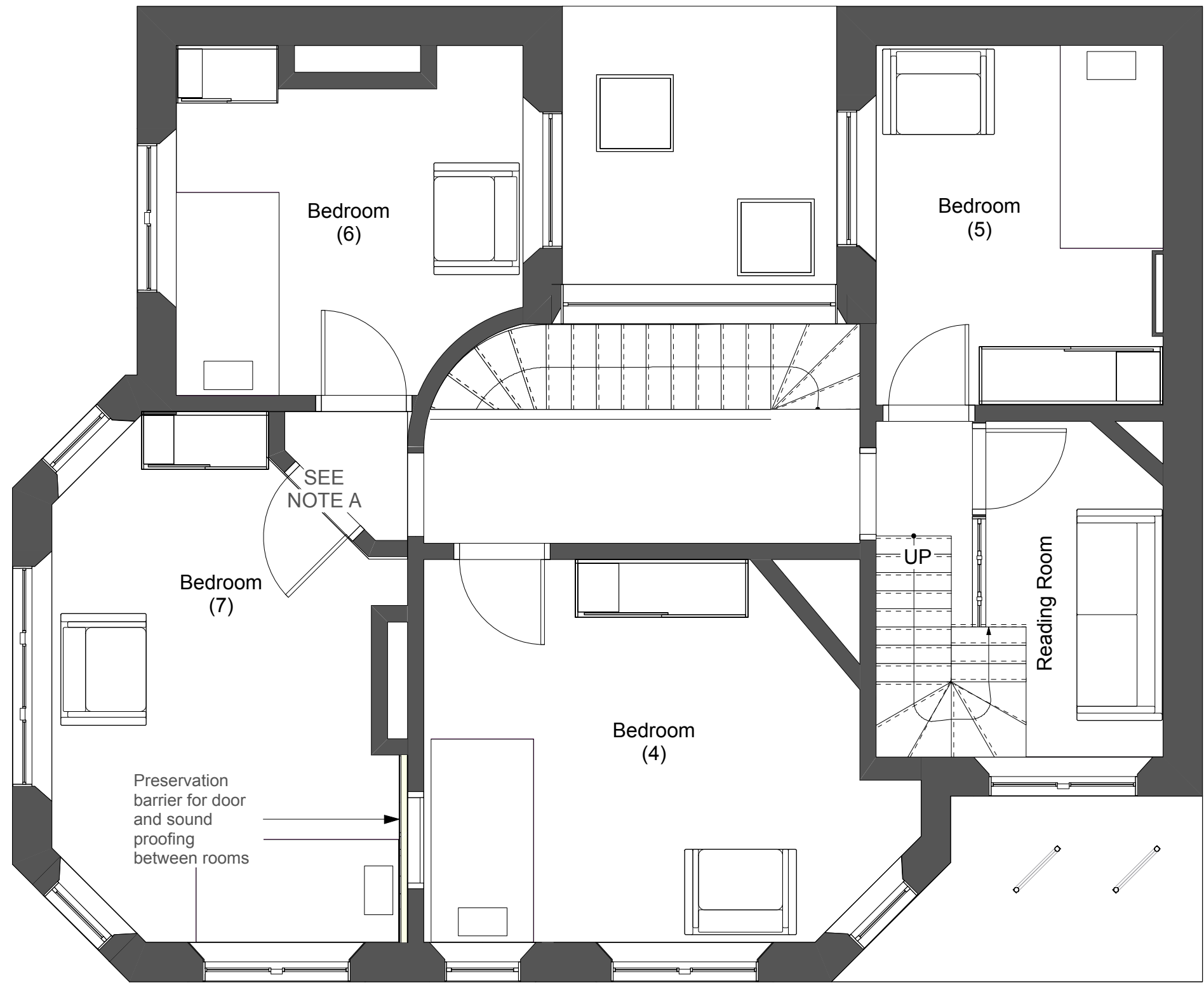


Ground Floor Plan @ 1:50

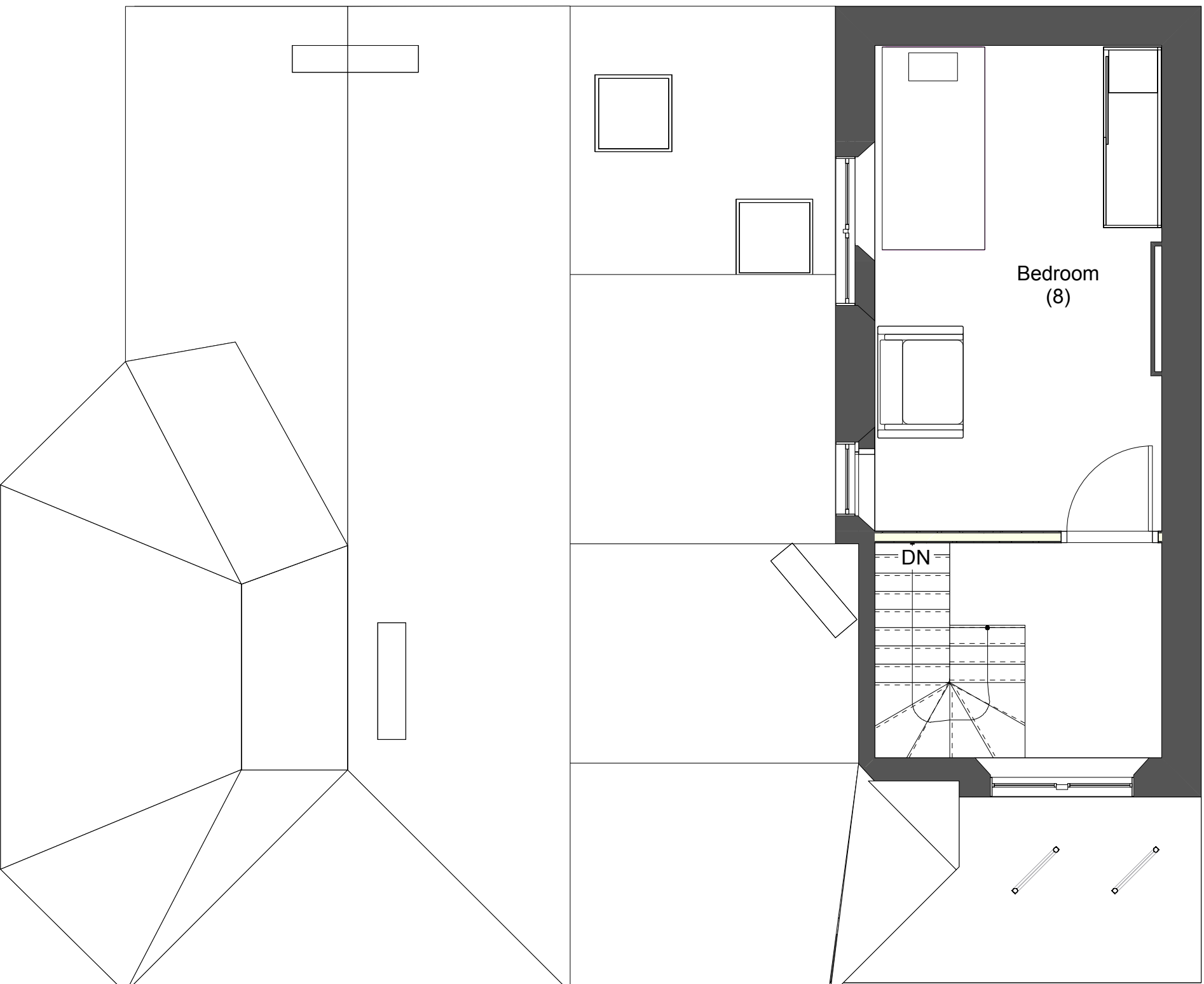


Roof Plan @ 1:100

2X Sheffield Stands
for external Cycle
Storage



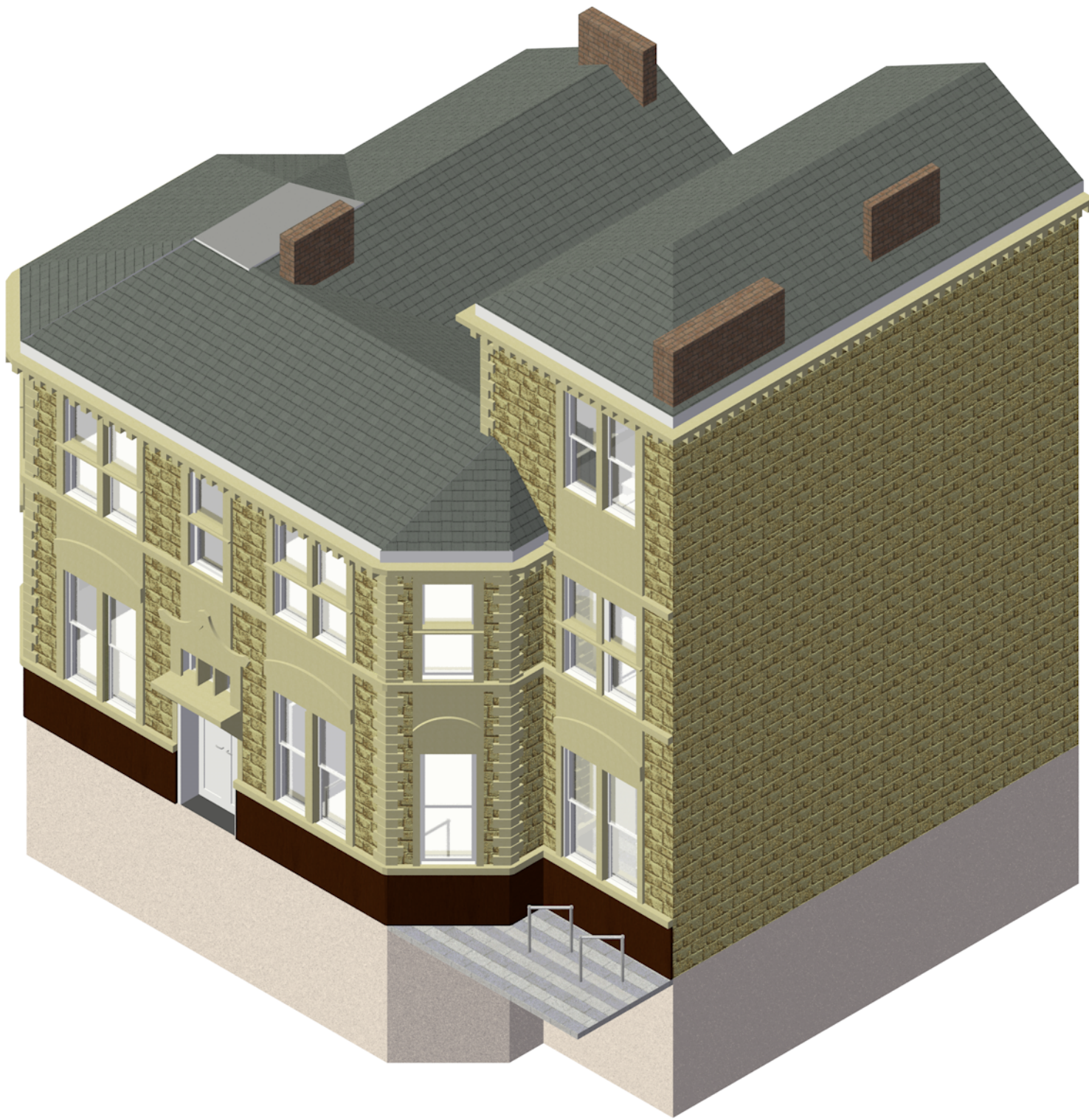
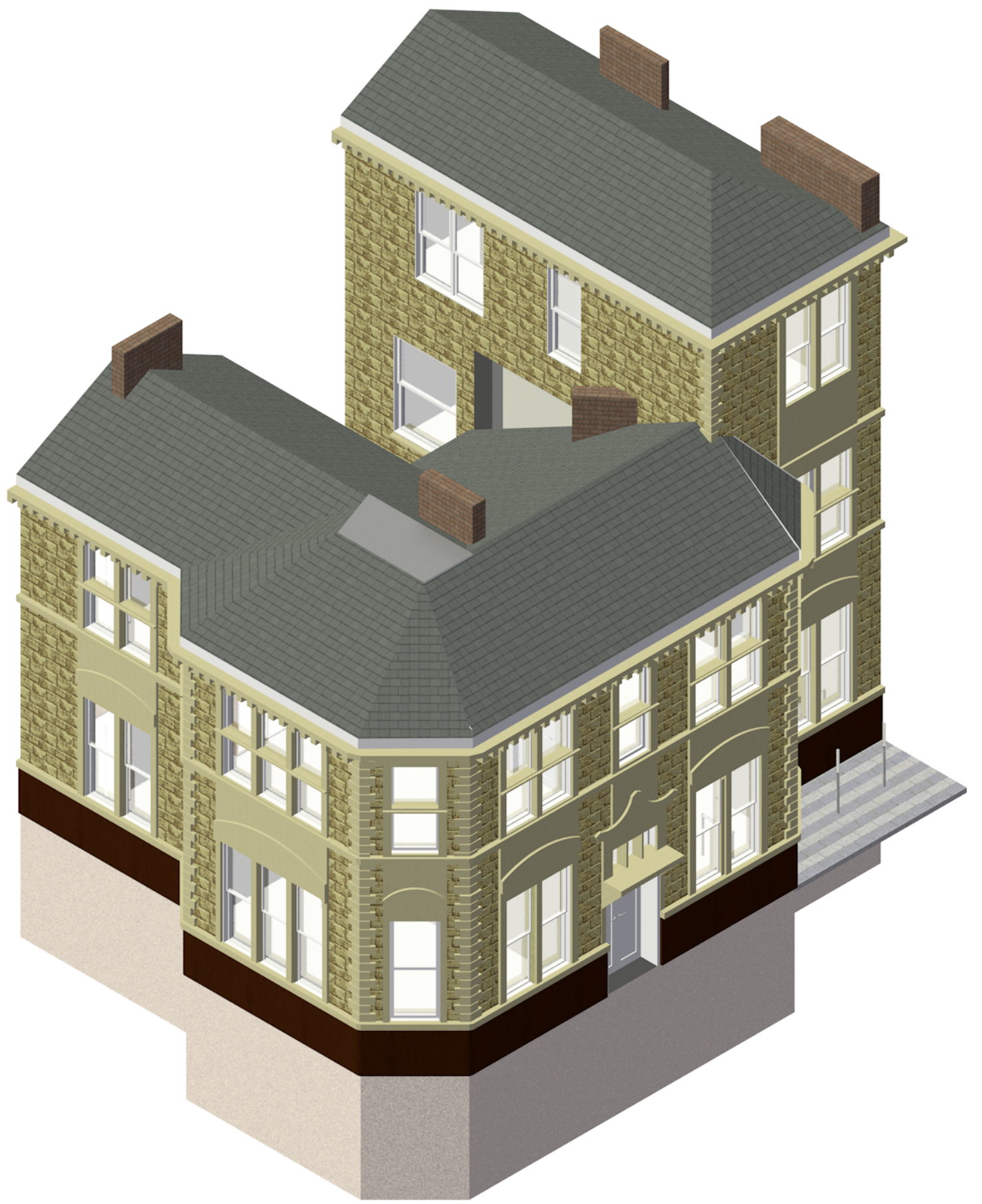
First Floor Plan @ 1:50



Second Floor Plan @ 1:50



NOTE A:
New lobby between Bedroom's 3 & 1 and lobby between Bedroom's 2 & 5 to be design and built using the example created with the Existing lobby between Bedroom's 6 & 7.



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	BS1 1JH	Status: For Comment		D	All boundaries are assumed and we accept no liability for boundary inaccuracy.
		Scale: Labelled @ A1		E	You are reminded of your responsibilities under the 'Party Wall etc. Act' 1996 where applicable.



PLANNING HERITAGE

Conservation Planning Consultancy

Historic Building Assessment: All Saints House, 6 All Saints Lane, Bristol; consideration of proposed conversion to accommodation

The assessment has been revised following revisions to the scheme in which it is proposed to convert the building into a HMO for 8 Nos. occupants with ground floor cycle storage.

By way of background, the proposal relates to conversion of All Saints House, 6 All Saints Lane, Bristol, located within the city centre and the historic core of the city. The building was 'rebuilt' in 1902/03 by the Bristol practice of *Oatley and Lawrence*. The property was designed to serve as offices for the Vestry of All Saints, however it became for many years the offices of various small firms including solicitors, accountants and auctioneers.

It has recently been sold and commercial occupants have not been forthcoming or seeking to lease the property.

The building was listed at Grade II and was first included on the statutory list in March 1977. The site lies within Character Area 1: Old Medieval Core of the City & Queen Square Conservation Area in Bristol.

The scheme includes the following accommodation:

Basement Level:

- bin storage
- utility room
- 3Nos. shower rooms
- kitchen
- dining room in the basement level

Ground Floor:

- communal sitting room
- 3Nos. bedrooms
- cycle storage

First floor:

- 4Nos. Bedrooms
- 1 No. reading room

Mezzanine/ Second Floor:

- 1 No. bedroom

Other measurements proposed within the building include a protective cover to the lower flights of the staircase to ensure wear & tear is minimised to the bannister/handrail. This will be in the form of perspex sheeting either side of the bannisters and a protective cover around the newel. A new partition will be built across the ground floor door in the cycle room to reduce noise and offer protection to the existing joinery, all of which will be retained.

In assessing the impact of the proposal upon the historic features within the building, the scheme will include the retention of the safe door in the basement, the formation of a reading area on the first floor next at the foot of the secondary staircase and additional external cycle racks outside the property.

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The Character of the application site:

The area is described in the Pevsner architectural guide to Bristol as a 'narrow alley running SE off Corn Street on the E side of the Exchange. S of All Saints' church is All Saints' Court, with modest early C18 town houses of brick. Then Oatley & Lawrence's All Saints' House of 1903, mildly Arts and Crafts and pleasingly done. Red granite plinth contrasting with arche-coloured Ham stone which has weathered to reveal sedimentary layering. Beyond is the Market Tavern'

Today, these buildings and the pedestrian nature of the lane define the character of the alley in glimpsed views from Corn Street and St. Nicholas Street

The Building:

The building was listed at Grade II in March 1977 and the description states: *Office. Dated 1903. Possibly by Oatley and Lawrence. Limestone ashlar, red granite plinth, slate hipped roof. Single-depth plan with a rear courtyard. 2 storeys and basement; 6-window range. A symmetrical front has splayed 1-window corners, and a 3 storeys; 1-window block set back to the right; granite plinth has tall cyma sections between the windows, sill bands, rusticated quoins to an ovolo moulding over the windows and modillion cornice. The doorway has shallow half-pilasters to brackets and a canopy, double 6-panel doors, a 3-light overlight above with raised surround inscribed ALL SAINTS HOUSE/ 1903, and a swan's neck hoodmould. The windows are set in raised full-height sections with square-section mullions, segmental-arched labels on the ground floor and transoms with drip moulds on the first floor. The splayed corners have semicircular-arched ground-floor hoods. Right-hand section has 2-light windows as the ground floor, and a left-hand dated hopper. The left return has splayed corners and a central tripartite window. Leaded upper sashes and plate-glass lower ones. INTERIOR: entrance hall to a rear lateral stair flight, with winder top and bottom sections, column balusters and newels and a ramped, moulded rail, and fireplaces with green tiled surrounds. The limestone is one of the iron-rich orange-coloured stones of Somerset or Dorset. (City of Bristol: City Engineer's Building Grant Plans: Bristol Record Office: 1851-: VOL 50 /FOL 24).*

The cartographic and documentary evidence indicates the property was constructed c.1903 on the site of an earlier property. The existing building reflects the footprint of an earlier structure. Oatley & Lawrence Architects submitted the design for the new offices for the Vestry of All Saints. The original plans are held in the Bristol Archives Office and are signed by George Oatley and dated May 1901 and May 1902. Sir George Herbert Oatley (1863-1950) born in Bristol and worked for the Architects Godwin and Crisp in Bristol. After Godwin left for London, Oatley became Henry Crisp's partner in 1889, and at the same time married Edith Lawrence. Oatley's first architectural style was classical, and with his appointment as Architect to the University of Bristol he became a champion of the Gothic tradition. Crisp died in 1896 and Oatley worked on his own until his brother-in-law George C. Lawrence joined him in 1926, by which time Oatley's main work was complete. They were joined by Ralph H. Brentnall in 1947; and continued to practice from 12 Great George Street, Bristol, until Oatley's death in 1950.

Oatley carried out a large amount of work for the University of Bristol including the Wills Memorial Building (started 1912, opened 1925) and the H.H. Wills Physics Department (started 1926, opened 1930), the Bristol Baptist College in Woodland Road, Bristol, (1913-1915), Halls of Residence for Bristol included Wills Hall (1925) and Manor Hall (1932). Other work included the Bristol Homoeopathic Hospital (1908) and also worked on the Bristol Royal Infirmary, and on Bristol General Hospital. Lunatic asylums designed by Oatley and Lawrence include Winwick Asylum in Lancashire, Cardiff Asylum at Whitchurch, and Bristol Asylum at Stapleton.

As this building demonstrates, he also worked for local churches, both in their design, and in financial support for congregations. He also had commissions from local companies including the Fry family chocolate factories in Bristol, and the Bristol Wagon Works.

The plans held in the Bristol Archives show a building designed as a 'block of offices', and the street directories albeit incomplete, show the property was possibly occupied from 1903, however the address (All Saints' House) was not noted until 1909. The plans are marked *Proposed 'New Offices, All Saints Lane, Bristol, for the Vestry of All Saints'*.

Initially used by Cunningham & Gibaud, auctioneers and valuers, it soon became the offices of other companies including flour importers (Sinnock FW& Co.) and solicitors as well as Cunningham & Gibaud themselves who later become fire loss adjusters. The last directory entry in for 1974, when All Saints House was the address of 3 firms, 2 of which were solicitors and one was a chartered patent agent.

The assessment of the building and the documentary evidence has shown little change has occurred to the exterior of the property, although internally the basement area has been extended and partitions have been inserted on most floors. The large staircase window may be a replacement however, the 1901 plans do show the feature window but not its design. Other changes include the loss of original lantern in the lightwell – it has been replaced with modern flat roof lights and there have been changes to fireplaces.

Assessment of the proposals:

1. The policy context

The test, as set out in s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990, states that when considering whether to grant listed building consent for any works the local planning authority shall have 'special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'. Likewise, when considering whether to grant planning permission it states in s.66, that Planning Authorities shall have 'special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'.

The Bristol Local Plan Core Strategy adopted June 2011, sets out the relevant policy affecting the historic environment in BCS22 (Conservation and the Historic Environment), which states 'development proposals will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance'.

The Bristol Local Plan Site Allocations and Development Management Policies DPD adopted in July 2014 sets out the policy objectives for heritage assets under Policy DM31.

2. The scheme

Following the meeting where concerns were raised about the possible damage of fabric by bins and bikes, an assessment was carried out of how best to achieve a sensible compromise. It was agreed to protect the lower areas of the staircase with a Perspex sheets to ensure damage is minimised and a daily bin collection would be incorporated into the management of the property to reduce the requirement for large wheelie bins. Likewise, the sub-division of rooms was minimised and the new layout reflects those concerns.

The scheme proposes to convert the building into study bedrooms including using the upper level for a sitting area and the basement will provide kitchen and washing facilities. It is clear from the assessment that this is an achievable arrangement.

In Bed 3 a lobby entrance is required and this has been designed to reflect the existing lobby on the first floor, itself a later addition to the planform but one, which does not interrupt or confuse any understanding of the roomplan. In the basement, the strong room doors will be kept in situ, to reflect the former uses.

The initial scheme proposed the installation of an Air Source Heat Pump & Solar panels, however following concerns raised by officers as to their impact upon the historic fabric and character, these have been removed from the scheme in order to ensure there is no adverse impact upon the appearance of the listed building or indeed the lightwell, which is visible through the glazed curtain wall of the staircase. Although these items may have improved the 'energy efficiency' of the project, the fact that the listed building will be reused and fully occupied, is in itself a sustainable and longterm solution to the vacancy of the property.

3. The setting and views

The assessment of the site revealed the interior alterations will not change any views or the setting of the building.

Conclusion

In regard to assessing the impact of the proposed works and change of use, further consideration of the building allowed for a greater understanding of the significance of the listed building and its contribution to the heritage asset(s), in this case the fabric of the building and its plan form as well as its setting and the contribution towards the wider conservation area, in order to design a successful scheme.

It is apparent that in regard to the understanding of this site and how it will be affected by the proposals, the Historic Environment Planning Practice Guide sets out in paragraph 57 the need to understand the level of

importance of that interest and as such these proposals will preserve the significance of the site, which is derived from its cellular layout and the surviving room plan which will remain unaltered. It is considered this scheme can be achieved with a minimum level of intervention, in the form of protection measures and is one that does no harm to the property by ensuring the changes are not dominant, stand out or indeed are 'out of character'. They successfully achieve a design solution without compromising the integrity of the context in which it is located.

Further analysis of the site has revealed the property has not attracted or secured a commercial tenant and as a result a change of use into student accommodation will allow the property to be modestly converted with the minimum of interior changes and alteration. This will result in a building that continues to contribute to the streetscene and vitality of the city. The result of the proposed scheme will preserve the setting as well as enhance the character and appearance of the site and the wider context and as such, when considered against the policy and guidance on the historic environment including the Planning (Listed Buildings and Conservation Areas) Act 1990 Sections 16, 66 and 72.

Figures:

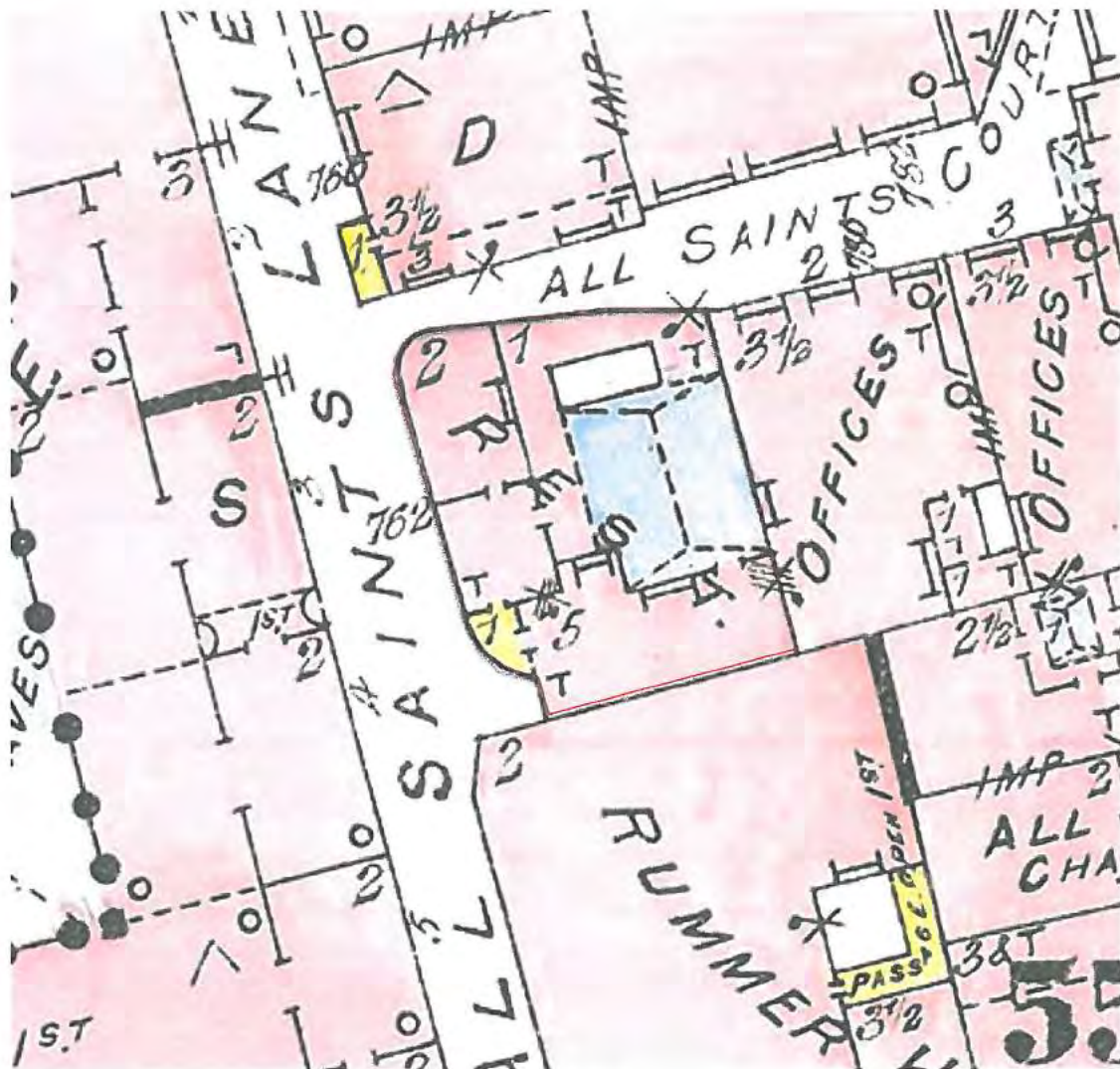


Figure 1: Extract from Goad's Insurance map of Bristol 1887 showing the plot prior to the redevelopment of the site by Oatley

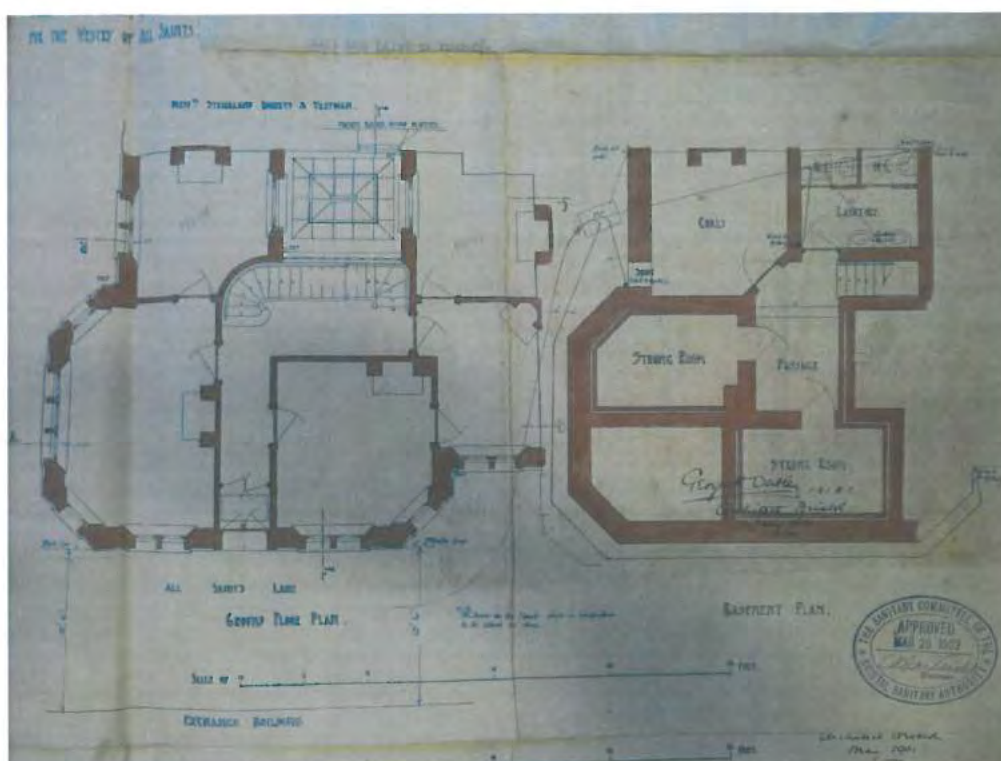


Figure 2: Plan of All Saints' House, Oatley & Lawrence; signed and dated May 1901

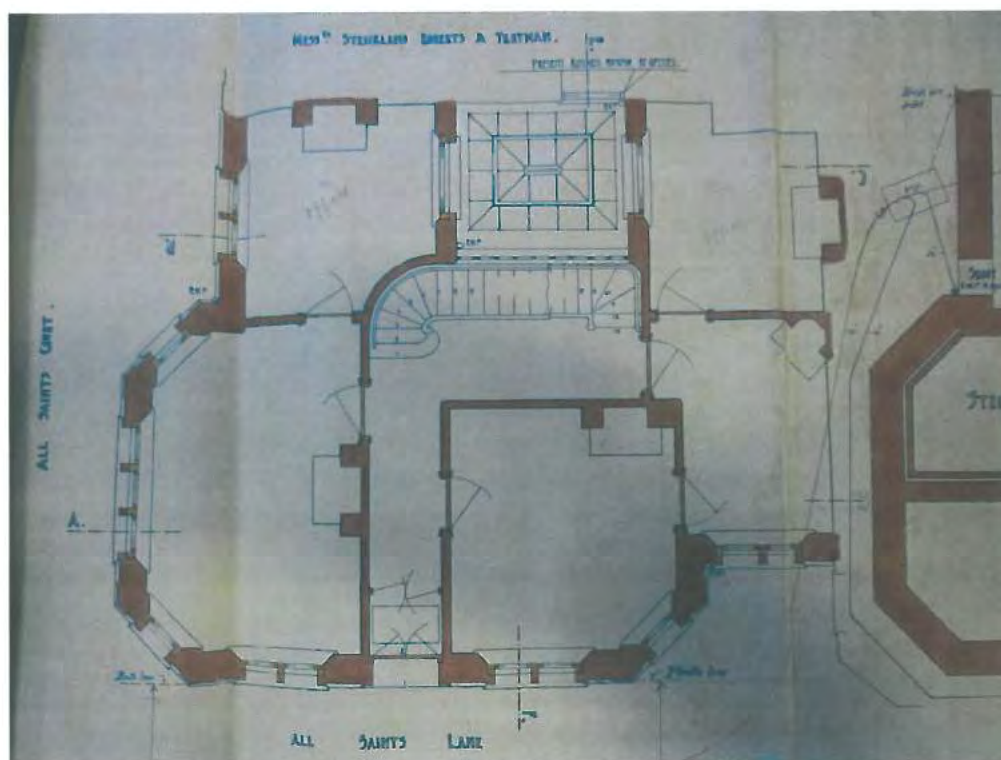


Figure 3: Plan of All Saints' House, ground floor

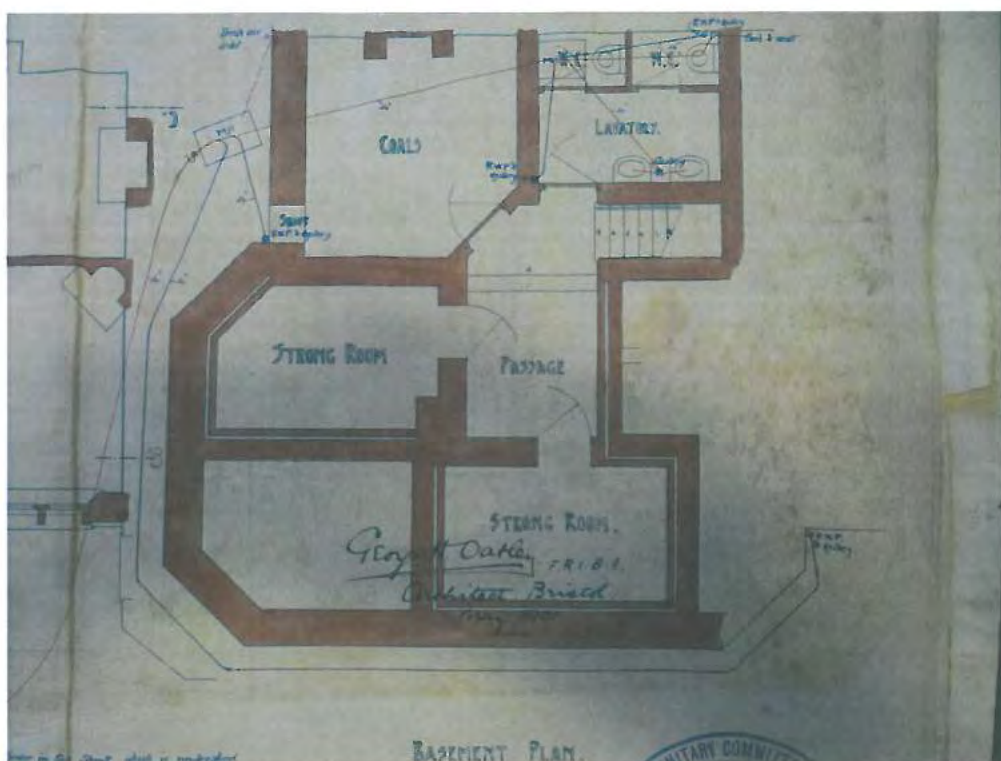


Figure 4: Plan of All Saints' House; basement level before extension to the right side

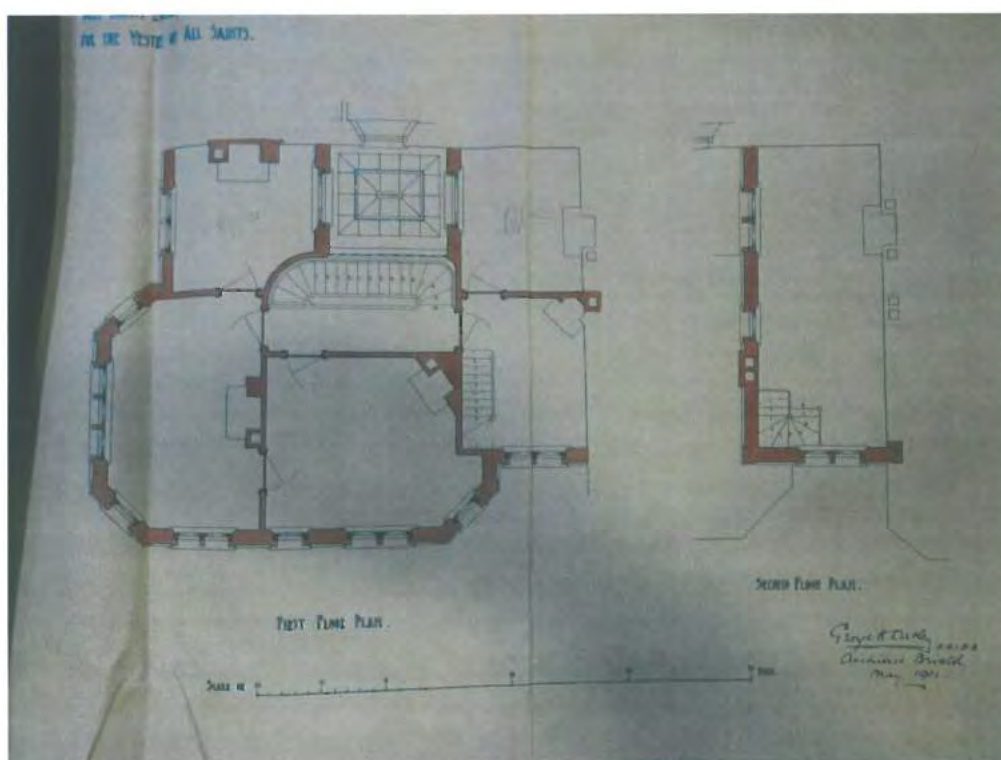


Figure 5: Plan of All Saints' House; First and second floors

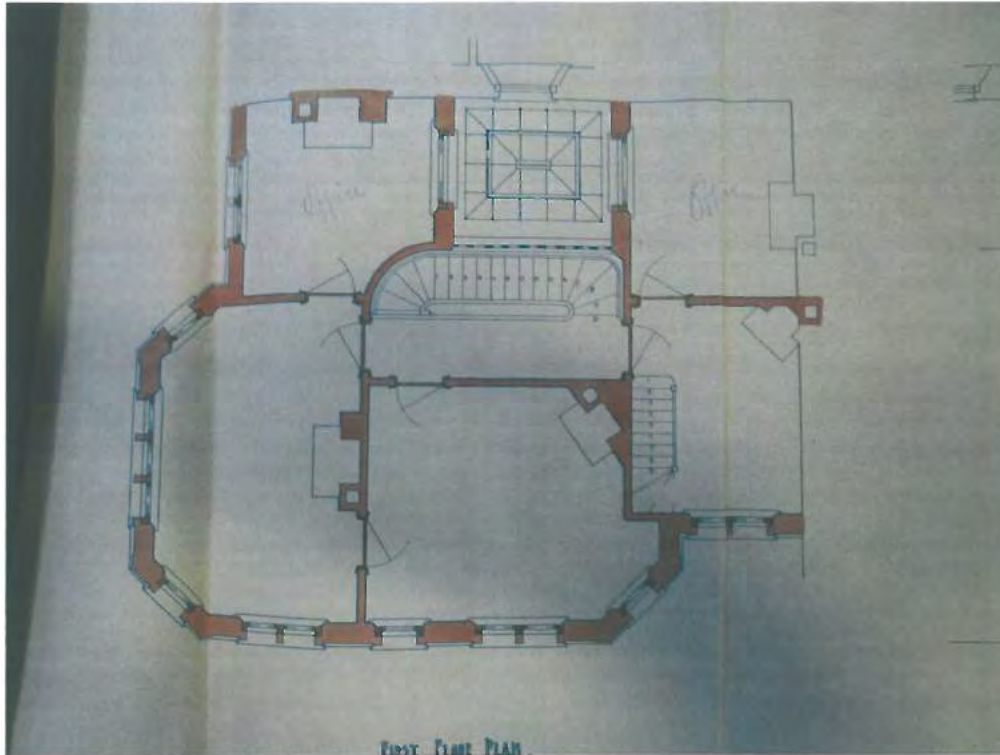


Figure 6: Plan of All Saints' House, first floor room plan

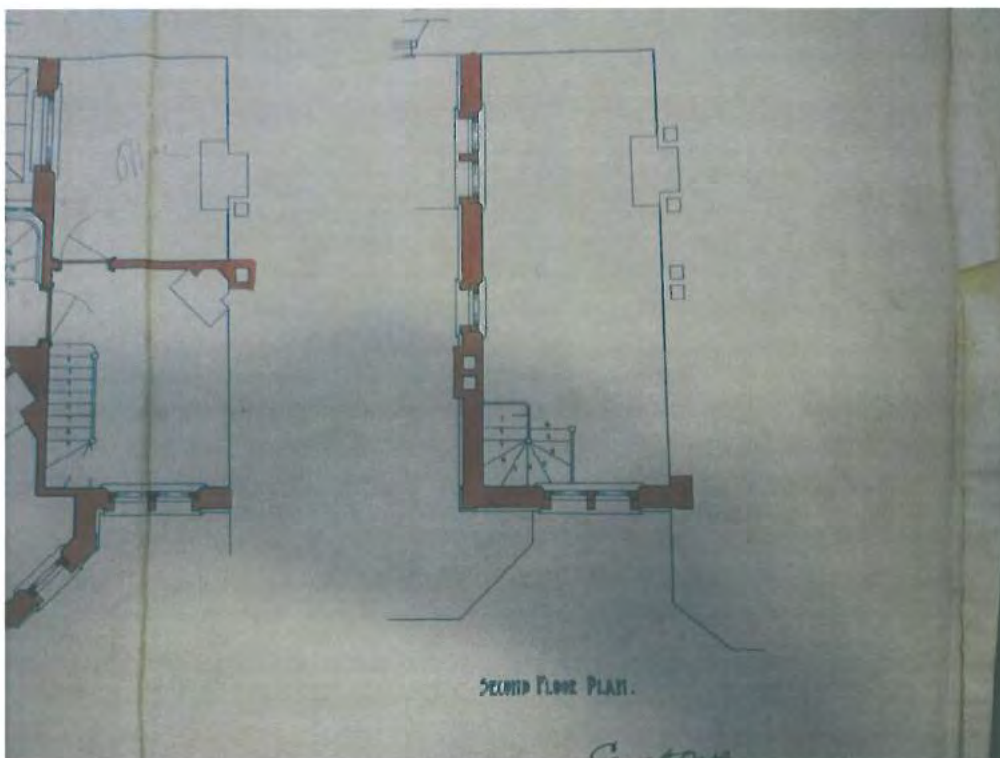


Figure 7: Plan of All Saints' House, second floor

Photographs



Photograph 1: All Saints House, Bristol; front elevation



Photograph 2: All Saints House, Bristol; front elevation from the south



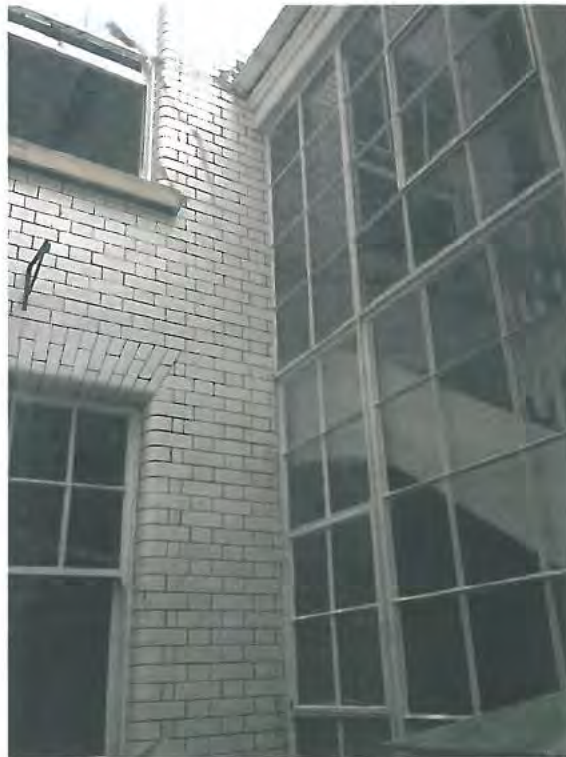
Photograph 3: All Saints House, Bristol; front elevation with additional storey to southern side



Photograph 4: All Saints House, Bristol; rear/side elevation



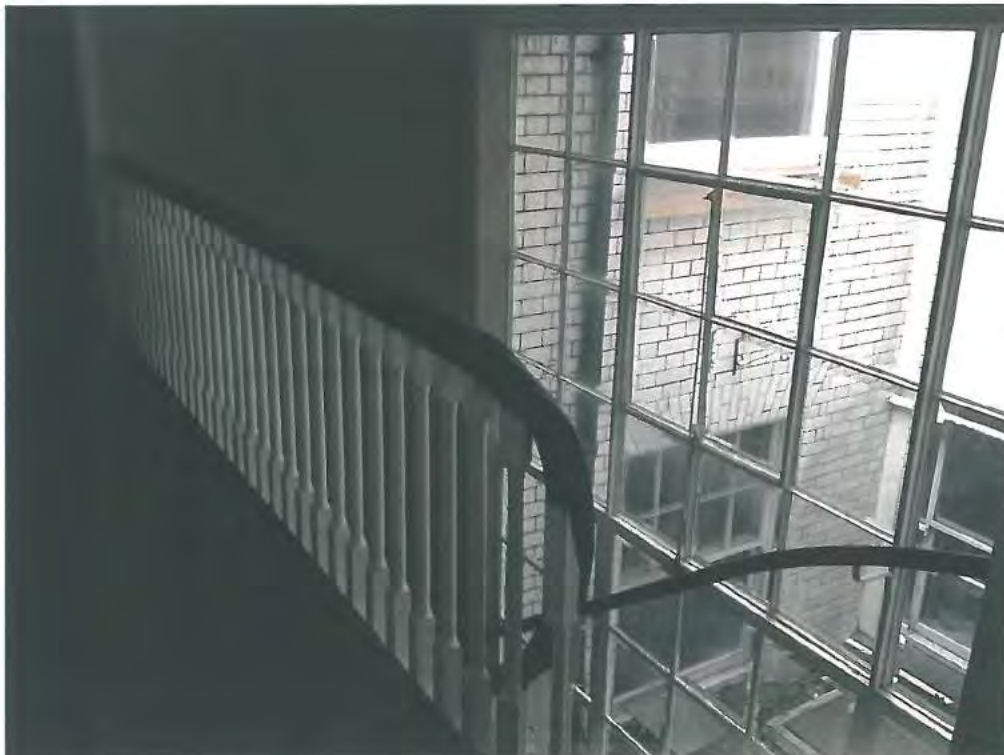
Photograph 5: All Saints House, Bristol; lightwell and glazed tile elevation



Photograph 6: All Saints House, Bristol; lightwell and staircase elevation



Photograph 7: The staircase from ground floor



Photograph 8: View of the staircase and lighwell window from first floor landing



Photograph 9: View of the ground floor front office



Photograph 10: View of the ground floor office on north side



Photograph 11: View of the ground floor office on north side



Photograph 12: View of the first floor office with lobby entrance on north side



Photograph 13: View of the second floor office in 'tower' on south side with modern partition



Photograph 14: View of the second floor office

MANAGEMENT PLAN

6 ALL SAINT'S LANE
BRISTOL
BS1 1JH

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5. Waste Management Plan

1. Introduction

This statement has been prepared to support the planning application for 6 All Saints Lane, Bristol, with regards to access to the property. The planned work is for conversion of the building into a HMO for 8 occupants (Sui Generis).

2. Site Description and Context

The site is located in the St. Nicholas Market area of the city centre, on the pedestrianized All Saints Lane. Access to the property is through the main front door on the lane, which is in turn accessed at either end by St. Nicholas Street and the also pedestrianized Corn Street.

3. Means of Access

There are two car parks within 5 minutes walk of the property, the closest being the Galleries shopping centre car park on Wine Street. The other is the NCP multi-story car park situated on Nelson Street. The Galleries car park is open 7 days a week. Monday to Saturday the opening times are 8am – 11pm with last entry at 10pm. On Saturdays the times are 10am – 6pm with last entry at 5pm. Prices start at £1.50 for up to 1 hour. The Nelson St. NCP car park is open 24 hours a day, 7 days a week. The price starts at £2.50 for up to 30 minutes. On weekends however, up to an hour is £2 and every hour subsequent is another £1.

Local parking is also likely to be used, this can be found on Broad Street or St Nicolas Market in the form of pay and display (see images below). The occupants are likely to be working in the centre of Bristol so the need for a car to be kept locally will be minimal. If however the property was rented to students they will be encouraged to use the local car parks instead of the on-street parking and that they should park legally at all times. This information will be provided in an information pack handed to the occupants and included with the tenancy agreement or included in the email of moving in days mentioned later in this document. All efforts including notices in the property will be provide to ensure we go above and beyond to encourage legal parking at all times.

There are also bus links from the city centre stops, located a 5 minute walk away. From there, buses access all the main transport locations in Bristol.

The other option for access is via Temple Meads train station. This is situated 15 minutes walk from the property and would be the main option for occupants or visitors arriving via train from the rest of the country.

The property is in a highly sustainable location within the heart of the city centre of Bristol.

The locations of these and the walking routes to and from the property are shown below:



- Property Location
- A - Temple Meads Train Station
- B - The Galleries Car Park
- C - Nelson Street NCP Car Park
- D - City Centre Bus stops



4. Arrival Plans (Students)

To future proof the proposal it may be that during the building's lifetime the use becomes suitable for students. If the accommodation was to be used for students it is proposed that before the term begins two 'moving in days' will be offered. The management team will offer a selection of weekend dates to all proposed tenants via email, the students can then put forward their preferred dates and agree on two days over one weekend that they will be able to deliver items considered to be large items such as TVs, computers and household items. It is proposed that the rooms will be suitably furnished to keep to a minimum the large items needed to be carried into the property.

Over the two days of arrival the new occupants will be given 2-hour time slots to move items into their rooms and the communal area. The students on a first come first served basis will select these time slots. It is suggested that a maximum of two students can move in during a specific time period.

Examples of these time slots being selected are listed below:

Saturday		
	Room Number	Student Name
Slot 1: 9.30am-11.30am		
Slot 2: 9.30am-11.30am		
Slot 3: 11.30am-1.30pm		
Slot 4: 11.30am-1.30pm		
Slot 5: 1.30pm-3.30pm		
Slot 6: 1.30pm-3.30pm		
Sunday		
	Room Number	Student Name
Slot 1: 9.30am-11.30am		
Slot 2: 9.30am-11.30am		
Slot 3: 11.30am-1.30pm		
Slot 4: 11.30am-1.30pm		
Slot 5: 1.30pm-3.30pm		
Slot 6: 1.30pm-3.30pm		

During the hours of arrival on the agreed weekend, we plan to apply to reserve a minimum of one on-street pay and display parking bay on St Nicholas Street. This will be done so through the following website link and in the locations shown below:
www.bristol.gov.uk/en_US/parking/suspensions



5. Waste Management Plan

The waste collection will be managed by a private contractor working on behalf of the landlord and his company to ensure that no waste is stored, or disruption is caused to the street front. The operatives are trusted employees who have access to manage all of the landlord's properties when required.

Waste will be collected from the 'internal bin storage' located on the basement level by the contractor who will have access to the property at a set time period of 1 hour. The waste will be collected and transferred straight to the Council Civic Amenity Recycling Centre.

The waste storage area inside the property will accommodate separate boxes for recycling and general waste, as it is important to encourage recycling. Inside the 'internal bin storage' will be the following.

- 4 x General waste bin
- 4 x Waste bin for items associated with Bristol City Council's Black Box
- 4 x Waste bin for items associated with Bristol City Council's Green Box
- 4 x Waste bin for items associated with Bristol City Council's Brown food waste

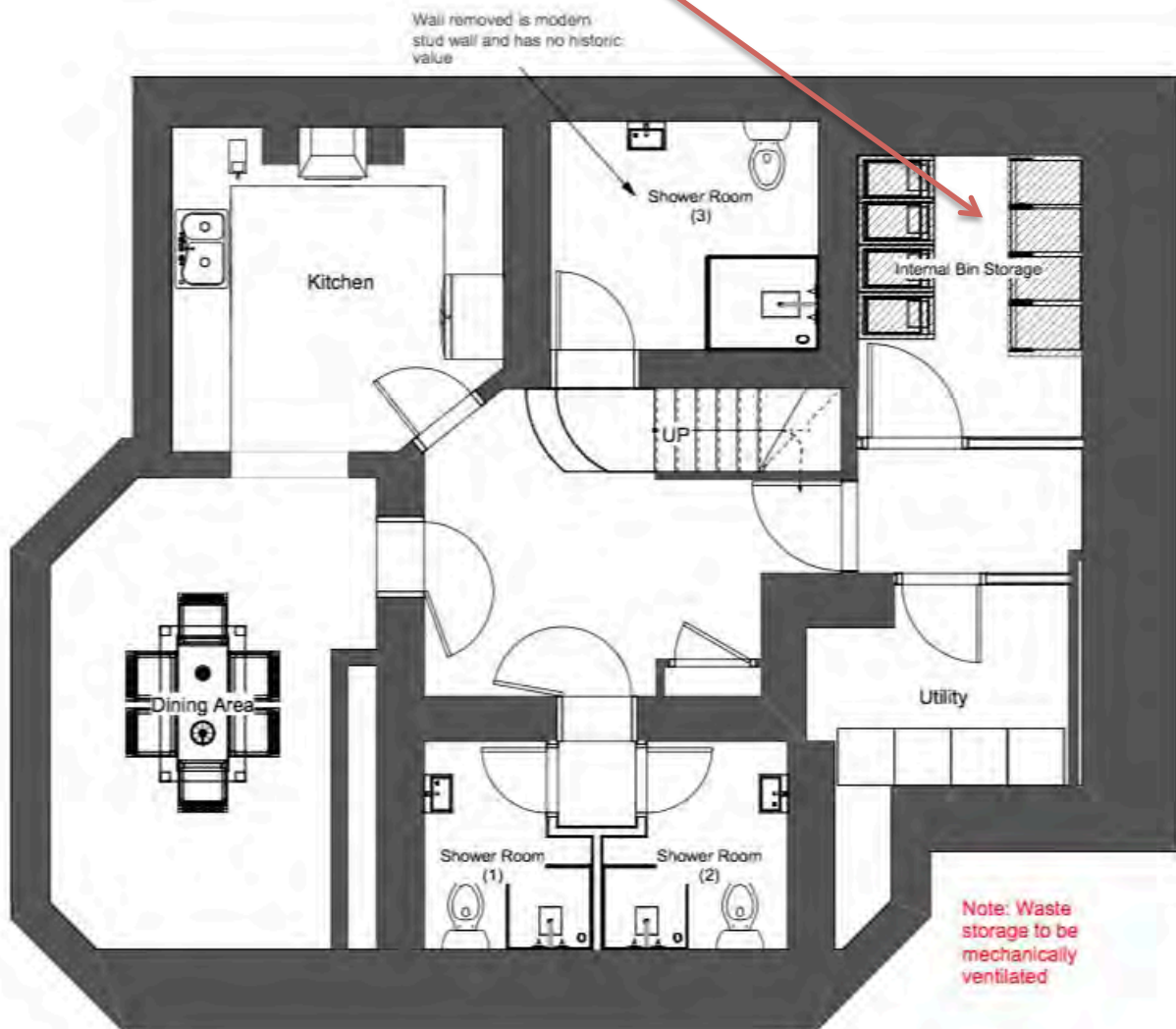
All bins will be emptied, double bagged and taken to the local Recycling Centre.

Collection time: This set time will be listed in the welcome pack given to all occupants before they move in. An example time would be 10-11am. This would allow for collection when the house would be mainly empty and cause minimal disruption to the tenants. The collection is predicted to take no longer than 20 minutes.

Collection days: All waste will be collected on a Monday, Wednesday and Friday of every week. Bank holidays and Christmas holidays may require a change of day that will be agreed and all residents notified.

Operatives parking and route: The operatives will park on Broad St or St Nicholas Street in a legal parking space. They will then walk along Corn Street to access All Saints Lane. All waste will be double bagged to ensure no spillage during transportation to the vehicle.

Waste collection point





High Street Parking (above)



Broad Street Parking (above)